

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: December 9, 2020

TO: Planning Commission

FROM: Planning Staff

SUBJECT: SUPPLEMENTAL STAFF REPORT: Consideration of (1) adoption of an Initial Study and Mitigated Negative Declaration, pursuant to the California Environmental Quality Act, and (2) a Coastal Development Permit, Use Permit, Design Review Permit, and Mobilehome Park Permit, pursuant to Sections 6328.4, 6267, 6268, and 6540 of the County Zoning Regulations, and a Grading Permit, pursuant to Section 9283 of the County Building Regulations (Division VII, Chapter 5), for the construction of a new 47-space (formerly 50-space) Recreational Vehicle (RV) park, 8 tent camping spaces (formerly 7 tent camping spaces), plus a 1,065 sq. ft. shower and laundry building located on a legal 3.356-acre parcel (legality confirmed via Lot Line Adjustment: LLA 94-0014) at 240 Capistrano Road in the Princeton area of unincorporated San Mateo County. The construction of the RV park involves 4,500 cubic yards of cut and 4,575 cubic yards of fill. No trees are proposed for removal. The project is appealable to the California Coastal Commission.

County File Number: PLN 2017-00320 (Stefanick)

RECOMMENDATION

That the Planning Commission adopt the Initial Study/Mitigated Negative Declaration and approve the Coastal Development Permit, Use Permit, Design Review Permit, Mobilehome Park Permit, and Grading Permit by making the required findings and adopting the conditions of approval identified in Attachment A.

DISCUSSION

A. PROJECT CHANGES

The currently proposed design of the RV park (Attachment F) addresses the changes requested by the Planning Commission at its December 11, 2019 meeting as well as changes to address code requirements pertaining to accessibility, which are summarized below:

1. Preservation of View Corridor from Cabrillo Highway

At its December 11, 2019 meeting, the Planning Commission requested that the applicant establish a Clear View Easement on a portion of the site shown in Attachment H to preserve ocean views from the corner of Cabrillo Highway and Capistrano Road. The Clear View Easement would set a 5-foot height restriction within the easement area to prevent the obstruction of views by elements such as structures and landscaping that are not already included in the proposed plans (Attachment F) with a single exception. Staff recommends that the roof trashed enclosure located within the proposed easement be removed or relocated outside of the easement. The 5-foot height was selected in consideration of the lower grade of the site relative to Cabrillo Highway as well as to accommodate tents and parked cars. Staff has added Condition of Approval No. 3, which requires the applicant to submit a Clear View Easement with the 5-foot height restriction for the Director's approval and subsequent recording prior to issuance of a building permit.

The Planning Commission requested that the applicant revise the project to reduce obstructions in the view corridor. In response, the applicant has made several design changes, including 1) relocating the proposed laundry/shower facility to the northern corner of the site, 2) shifting the tent sites proposed at the eastern corner of the site further back from Capistrano Road, 3) lowering the overall height of the proposed fence along Capistrano Road from 48 inches to 40 inches, 4) eliminating proposed trees along Capistrano Road, and 5) limiting the landscape palette to lower growing plant material such as groundcover, shrubs, and perennials.

2. Changes to the Number of Spaces

At its December 11, 2019 meeting, the Planning Commission suggested a reduction in the number of spaces. The applicant has reduced the number of RV spaces from 50 to 47 spaces. However, the applicant has proposed an increase in the number of tent spaces from 7 to 8 spaces. Staff is in support of an increase in tent spaces as it increases affordable lodging options for visitors to the coast that do not own RVs but would like to utilize the facilities.

3. Landscape Plant Palette

At its December 11, 2019 meeting, the Planning Commission expressed concerns regarding the use of exotic and invasive plant material in the project plant palette that would not complement the coastside aesthetic and would potentially proliferate to other sites. The applicant has revised the landscape design such that it utilizes a predominantly California-native, non-

invasive plant palette with plant material commonly used in projects on the Midcoast.

4. Accessible Path and Cypress Trees Along Cabrillo Highway Side

To comply with the California State Parks Accessibility Guidelines and the California Building Code requirements regarding accessible routes, the applicant has added a pedestrian path on the north side of the project which connects the accessible tent spaces with the laundry/shower facility at the northern corner. The applicant's initial design located a hard-surface path through the driplines of the mature Cypress trees along Cabrillo Highway. To address concerns from staff, the County Arborist, and the California Coastal Commission regarding development in that area, the applicant relocated the path outside of the dripline of the trees.

Despite the relocation of the path, staff and the County Arborist still had concerns about the survival of the trees due to potential impacts from root cutting associated with grading, construction, and on-going maintenance of the proposed hard-surface pathway. Because the Cypress trees are windswept to the west towards Cabrillo Highway, the weight of the canopy leans in that direction. The general concern is that, with the cutting of roots on the east side of the trees, the trees will lose a portion of their anchor into the ground and potentially fall due to a high wind event or overall decline. In the event of such failure, the trees would likely fall to the west towards and onto Cabrillo Highway, potentially causing damage to adjacent overhead utility lines and impeding the roadway. In addition, the screening of the RVs from Cabrillo Highway would also be reduced.

At the request of the County Arborist, the project arborist, Richard Huntington (license number WE-0119S) provided a letter affirming his review of the updated design and tree protection measures (Attachment E). Mr. Huntington states that the "pathway will not impact any of the cypress trees" and that he finds the proposed tree protection measures sufficient. The applicant has stated that the project arborist will be present for any root cutting required for the pathway; in addition, per proposed Condition of Approval No. 15(d), prior to cutting of the roots, the roots shall be inspected by a certified arborist as required in the arborist report and the cutting itself shall be conducted by the arborist. To reduce impacts to the root system, the applicant has proposed the use of a crushed aggregate pathway to further minimize root impacts by requiring less overall cut compared to a typical concrete sidewalk and surface flexibility to accommodate future root growth and movement. In addition, further tree protection-related conditions have been added that will strengthen tree protection measures project-wide (Conditions 20 through 25).

Staff had requested that the applicant propose an alternative accessible path through the site; however, due to a combination of California Building Code and the California State Parks Accessibility Guidelines' requirement that any such path be "the most practical and direct route possible," a newly directed path would likely require a major redesign of the project. Staff believes the revised soft-surface path located outside of tree driplines adequately protects the on-site trees along Cabrillo Highway.

5. Roofed Trash Enclosures

In the original staff report, a condition was included for the applicant to submit detailed drawings of the two roofed trash enclosure structures. The applicant has provided these in the latest submittal. The structure matches the design and materials of the laundry/shower building.

B. ENVIRONMENTAL REVIEW

The Initial Study/Mitigated Negative Declaration (IS/MND) released by the County on September 18, 2019 describes the previous 50-space RV park project that was also described in the staff report for the December 11, 2019 Planning Commission meeting. The revised 47-space RV park described in this report varies from the 50-space RV project as described in Section A of this report. As the size of the laundry/shower building has not increased, the total amount of RV spaces have been reduced, and potential visual impacts would be further reduced due to the updated landscape plant palette, the relocation of the shower/laundry facility, and the proposed Clear View Easement, the 47-space option would not result in increased impacts to resource categories of the IS/MND.

1. Aesthetics: The revised design further reduces the potential for obstruction of ocean views at the western corner of Cabrillo Highway and Capistrano Road due to the relocation of the laundry/shower facility and updated plant palette featuring low growing vegetation. Additionally, the establishment of a Clear View Easement would prevent future project modifications from obstructing these views. Further discussion can be found in Section A(1) of this supplemental report.
2. Transportation, Air Quality, Noise, Energy, Utilities/Service Systems, and Public Services: With the reduction of 3 RV spaces and the increase of 1 tent space from the original proposal, there is a slight reduction in impacts associated with project density, such as potential impacts to Transportation, Air Quality, Noise, and Utilities/Service Systems. The Coastside County Fire Protection District has reviewed the revised designed and has preliminarily approved the project, subject to Conditions 63 through 94 of Attachment A, as revised.

The project changes do not affect the analysis of the IS/MND in the areas of Agricultural and Forest Resources, Biological Resources, Cultural Resources, Climate Change, Geology/Soils, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use/Planning, Mineral Resources, Population/Housing, Recreation, Tribal Cultural Resources, and Wildfire. Therefore, the analysis of project impacts in the issue areas, as presented in the IS/MND, remains adequate for the purpose of compliance with the California Environmental Quality Act (CEQA) and no additional environmental review or recirculation is required.

C. CONSISTENCY WITH APPLICABLE REGULATIONS

The proposed revisions do not change the analysis provided in the original staff report (Attachment C) with respect to compliance with the General Plan, Local Coastal Program, Half Moon Bay Airport Land Use Compatibility Plan, Zoning Regulations, Design Review District Standards, and Grading Regulations.

ATTACHMENTS

- A. Revised Findings and Conditions of Approval
- B. Vicinity Map
- C. Staff Report for December 11, 2020 Planning Commission Meeting (Attachments available at: <https://planning.smcgov.org/events/planning-commission-hearing-dec-11-2019>)
- D. Initial Study/Mitigated Negative Declaration released on September 18, 2019 (Attachments available at: <https://planning.smcgov.org/ceqa-document/mitigated-negative-declaration-harbor-village-rv-park-240-capistrano-rd-princeton>)
- E. Previous Planset for 50-Space RV Park
- F. Current Planset for 47-Space RV Park
- G. Mayne Tree Expert Company, Inc Arborist Letter (dated August 26, 2020)
- H. Proposed Clear View Easement Area

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2017-00320 Hearing Date: December 9, 2020

Prepared By: Ruemel Panglao
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the Planning Commission does hereby find that the Initial Study/Mitigated Negative Declaration reflects the independent judgment of San Mateo County.
2. That the Initial Study/Mitigated Negative Declaration is complete, correct, and adequate and prepared in accordance with the California Environmental Quality Act (CEQA) and applicable State and County Guidelines.
3. That on the basis of the Initial Study/Mitigated Negative Declaration, comments received hereto, testimony presented and considered at the public hearing, and based on analysis contained in the staff reports prepared for the Planning Commission, there is no substantial evidence that the project will have a significant effect on the environment.
4. That the Mitigation Measures (numbered 1 through 17) in the Initial Study/Mitigated Negative Declaration and agreed to by the owner and placed as conditions on the project address the Mitigation Monitoring and Reporting Plan requirements of California Public Resources Code Section 21081.6.1. The Mitigation Measures have been included as conditions of approval in this attachment. This attachment shall serve as the Mitigation Monitoring and Reporting Plan.

For the Coastal Development Permit, Find:

5. That the project, as described in the application and accompanying materials required by Zoning Regulations Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms to the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program (LCP), specifically in regard to the Locating and Planning New Development Component, Public Works Component, Visual Resources Component (including the Community Design

Manual Standards), Shoreline Access, and Recreation/Visitor-Serving Facilities Component of the Local Coastal Program. Furthermore, the proposed project is visually compatible with the mix of commercial recreation development along Capistrano Road, and the project is a visitor-serving and commercial recreation facility that would serve the needs of Coastside visitors and residents in the area.

6. That the project conforms to the specific findings required by policies of the San Mateo County Local Coastal Program. Any applicable findings are discussed in Section A.2 of the prior staff report (Attachment C).

For the Use Permit, Find:

7. That the design and operation of the proposed use will further the purpose of the CCR Zoning District as stated in Section 6265, as the project consists of a 47-space RV park and 8-space tent campground intended to serve coastside visitors and locals. The proposed project is compatible with the surrounding mix of commercial/visitor-serving development in the Princeton area, which includes retail shops, lodging, and restaurants. The project would provide on-site parking. The project site is within walking distance to other commercial visitor-serving businesses, primarily along Capistrano Road, and is within walking distance to shoreline access points to Princeton Beach. Overall, the project would not impact coastal resources or public ocean views.
8. That the design and operation of the proposed use will conform with the development standards stated in Section 6269 (CCR Zoning District) since the project, as proposed and conditioned, conforms to the applicable development standards of the CCR Zoning District Regulations with regard to setbacks, height, lot coverage, protection of coastal resources, and landscaping. The applicant's subject use permit classifies an RV park under Other Compatible Uses as allowed by the CCR regulations.
9. That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood since there is no evidence to suggest that the proposed project, as conditioned and approved, will have any detrimental effect upon coastal resources or result in adverse impacts to properties or improvements in the area. The project is compatible with the type and appearance of other existing commercial/visitor-serving development in the surrounding area, including two other RV parks in close proximity at Pillar Point Harbor and Pillar Point RV Park. As proposed and conditioned, the facility would be open to the public year-round with a limit on stays consistent with the LCP (28 days consecutively and 90 days annually), which is compatible with the operation of other lodging establishments in the surrounding area. Furthermore, the project is not considered a destination attraction that would cause a significant increase or change in pedestrian or vehicle traffic patterns as the use is intended to provide

supportive lodging service to people that visit the Princeton area for other primary reasons.

For the Design Review Permit, Find:

10. That the project complies with the design guidelines and criteria of the Community Design Manual and the LCP's Visual Resources Component. The proposed materials and colors for the one-story laundry/shower facility, such horizontal fiber cement siding in Kelly Moore's Lover's Hideaway (dark beige), has a natural appearance. The structure uses gable roofs, including a non-reflective, brown composition shingle as the primary roof material. Paved areas integrate into the site, relate to the proposed structure, and would be landscaped to reduce visual impact from residential areas and from roadways. Public views from public roads and along scenic corridors to the ocean are protected. The proposed signs would include panels located on an existing multi-tenant monument sign and tower sign that consolidate signage for the Harbor Village property.

For the Mobilehome Park Permit, Find:

11. That the proposed project meets all of the applicable regulations of Chapter 26 of the Zoning Regulations. The project meets the definition of a mobilehome park as defined by Section 6537(2), which includes not just manufactured housing, but all forms of mobile housing, specifically including recreational vehicles; however, to the extent the MH ordinance requires consistency with components of State law that only apply to manufactured housing, mobilehome parks and installation, or factory-built housing, those requirements will not be applied to the proposed RV park, which is governed by a separate State law, the Special Occupancy Parks Act. The project is intended to be a commercial recreation and visitor serving use that provides low cost lodging opportunities for people visiting the coastside.

For the Grading Permit, Find:

12. That this project, as conditioned, will not have a significant adverse effect on the environment. The project has been reviewed by the Planning Section, who prepared an Initial Study/Mitigated Negative Declaration and found that the project can be completed without significant harm to the environment as conditioned.
13. That this project, as conditioned, conforms to the criteria of the San Mateo County Grading Ordinance and is consistent with the General Plan. Planning staff and the Department of Public Works have reviewed the project and have determined its conformance to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 8605 and the San Mateo County General Plan.

RECOMMENDED CONDITIONS OF APPROVAL

Changes from the original staff report are identified by strike-through and underlined text. Minor changes have been made to the conditions to account for the combined net reduction of RV and tent spaces. Additional conditions have also been added to strengthen tree protection measures. Conditions from the Coastside Fire Protection District have been updated and added based on their review of the revised design.

Current Planning Section

1. This approval applies only to the proposal, documents and plans described in this report and approved by the Planning Commission on December 9, 2020. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of, and in substantial conformance with, this approval.
2. The Coastal Development Permit, Use Permit, Mobilehome Park Permit, and Grading Permit approvals shall be valid for five (5) years from the date of final approval in which time a building permit shall be issued and a completed building inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. The Mobilehome Park Permit must be renewed every 5 years thereafter. Any extension to these permits shall require submittal of a request for permit extension and payment of applicable extension fees, no less than sixty (60) days prior to expiration. An extension of these approvals will be considered upon written request and payment of the applicable fees sixty (60) days prior to the expiration of the approvals.
3. ~~The applicant shall submit detailed drawings of the two roofed trash enclosure structures to the project planner prior to Planning approval of the building permit. The structure shall match the design and materials of the laundry/shower building.~~

Prior to the approval of the building permit, the applicant shall submit, for the review and approval of the Community Development Director, a Clear View Easement containing a legal description and map of easement area as defined in Attachment H. The Clear View Easement shall prohibit the placement of any structure (permanent or temporary), vegetation (planted or portable), or other view-limiting object in excess of 5 feet in height as measured from the finished grade within the easement area that is not already included in the approved plans with exception to the roofed trash enclosure proposed on the east side of the property. The applicant shall record the approved Clear View Easement with the San Mateo County Recorder's Office prior to approval of the building permit.

4. Any substantial change in use or increase in the intensity of the project shall require an amendment to the use permit. Minor adjustments to project design may be approved by the Community Development Director if they are consistent with the intent of and are in substantial conformance with this approval. Major

amendment to this use permit requires an application for amendment, payment of applicable fees, and consideration at a public hearing.

5. Signage for the use shall be limited to that approved under this permit. Any additional signage beyond the existing monument and tower signs shall require separate approval by the Planning and Building Department prior to installation.
6. Any new utilities shall be located underground from the nearest existing pole. No new poles are permitted to be installed.
7. The exterior colors and materials are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
8. The applicant shall maintain landscaping as approved, in a healthy condition, and at heights compliant with the Clear View Easement, for the life of the use. Any dead or dying landscape shall be removed and replaced with the same or similar species.
9. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELo) and provide the required information and forms.
10. The applicant shall provide “finished floor elevation verification” to certify that the laundry/shower building is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural grade or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the

proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).

- e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
11. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering the site and obtain all necessary permits.

- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
12. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
13. No site disturbance shall occur, including any tree/vegetation removal or grading, until a building permit has been issued.
14. To reduce the impact of construction activities on neighboring properties, comply with the following:
- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

- c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Capistrano Road and Pillar Point Harbor Boulevard. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Capistrano Road and Pillar Point Harbor Boulevard. There shall be no storage of construction vehicles in the public right-of-way.
15. At the building permit application stage, the applicant shall submit a tree protection plan, including the following:
 - a. Identify, establish, and maintain tree protection zones throughout the entire duration of the project.
 - b. Isolate tree protection zones using 5-foot tall, orange plastic fencing supported by poles pounded into the ground, located at the driplines as described in the arborist's report.
 - c. Maintain tree protection zones free of equipment and materials storage; contractors shall not clean any tools, forms, or equipment within these areas.
 - d. If any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting as required in the arborist's report. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a saw or topplers. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within five (5) business days from site inspection following root cutting.
 - e. Normal irrigation shall be maintained, but oaks shall not need summer irrigation, unless the arborist's report directs specific watering measures to protect trees.
 - f. Street tree trunks and other trees not protected by dripline fencing shall be wrapped with straw wattles, orange fence and 2 by 4 boards in concentric layers to a height of 8 feet.
 - g. Prior to Issuance of a building permit, the Planning and Building Department shall complete a pre-construction site inspection, as necessary to verify that all required tree protection and erosion control measures are in place.
16. The applicant shall prepare a Stormwater Management Plan (SWMP) that includes, at a minimum, exhibit(s) showing drainage areas and location of Low Impact Development (LID) treatment measures; project watershed; total project site area and total area of land disturbed; total new and/or replaced impervious area; treatment measures and hydraulic sizing calculations; a listing of source

control and site design measures to be implemented at the site; hydromodification management measures and calculations, if applicable; Natural Resources Conservation Service (NRCS) soil type; saturated hydraulic conductivity rate(s) at relevant locations or hydrologic soil type (A, B, C or D) and source of information; elevation of high seasonal groundwater table; a brief summary of how the project is complying with Provision C.3 of the MRP; and detailed Maintenance Plan(s) for each site design, source control and treatment measure requiring maintenance. An Operation and Maintenance Agreement must be recorded prior to Planning final approval of the building permit.

17. The project shall comply with all requirements of the Municipal Regional Stormwater NPDES Permit Provision C.3. Please refer to the San Mateo Countywide Water Pollution Prevention Program's (SMCWPPP) C.3 Stormwater Technical Guidance Manual for assistance in implementing LID measures at the site.
18. The property owner(s) shall coordinate with the project planner to record the Notice of Determination and pay an environmental filing fee of ~~\$2,354.75~~ \$2,407.75 (or current fee), as required under Fish and Game Code Section 711.4(d), plus a \$50.00 recording fee to the San Mateo County within four (4) working days of the final approval date of this project.
19. The Coastal Development Permit shall not be in effect until a deed restriction is recorded by the owner of the land that specifies the following:
 - a. The development is a visitor-serving use exclusively available to the general public and that visitor and recreational vehicle length of stays are limited to no more than 28 consecutive days, and no more than 90 days per year. No recreational vehicles, trailers, or tents shall be allowed to remain on the site in excess of the length of stay limits. The deed restriction shall be recorded by the County Recorder to run with the land.
 - b. Conversion of any portion of the visitor-serving or commercial recreation facilities from development allowed under subparagraph (1) above, to a nonpublic, private, or member-only use, or the implementation of any program to allow extended or exclusive use or occupancy of such facilities by an individual or limited group or segment of the public, shall require an amendment to the applicable permit, and shall require a reduction in project density to the amount prescribed by LCP Policy 1.8 for uses which are not visitor serving.
20. The following activities are prohibited during the construction and operation of the RV park. DO NOT:
 - a. Allow runoff or spillage of damaging materials into the area below any tree canopy.

- b. Store materials, stockpile soil, or park or drive vehicles within the Tree Protection Zone (TPZ) as determined by the Project Arborist and approved by the County Arborist.
 - c. Cut, break, skin, or bruise roots, branches, or trunks of any significant or heritage tree without first obtaining authorization from the County Arborist.
 - d. Allow fires under or adjacent to trees.
 - e. Discharge exhaust into tree foliage.
 - f. Secure cable, chain, or rope to trees or shrubs.
 - g. Trench, dig, or otherwise excavate within the dripline or TPZ of the tree(s) without first obtaining authorization from the County Arborist.
 - h. Apply soil sterilant under pavement near existing trees.
21. Only excavation by hand or compressed air shall be allowed within the driplines of trees. Machine trenching within the driplines of trees is not allowed.
22. Avoid injury to tree roots. When a ditching machine, which is being used outside of the dripline of trees, encounters roots smaller than 2 inches, the wall of the trench adjacent to the trees shall be hand trimmed, making clear, clean cuts through the roots. All damaged, torn, and cut roots shall be given a clean cut to remove ragged edges, which promote decay. The Contractor shall make all reasonable efforts to fill trenches within 24 hours, but, where this is not possible, the side of the trench adjacent to the trees shall be kept shaded with four layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2 inches or larger, when encountered, shall be reported immediately to the project arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. The root is to be protected with dampened burlap during excavation activities. The Project Arborist will be present for any root cutting required for the accessible pathway that connects the accessible tent spaces and the laundry/shower facility.
23. Route pipes outside of the area that is 10 times the diameter of a significant or heritage tree to avoid conflict with roots.
24. Where it is not possible to reroute pipes or trenches as noted by Condition 23, the Contractor shall bore beneath the dripline of the tree. The boring shall take place not less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.
25. Any damage to trees due to construction activities shall be reported to the Project Arborist and County Arborist within six hours so that remedial action can be taken.

The following conditions of approval impose the mitigation measures identified in the IS/MND, with minor changes to Mitigation Measure 1 shown in underline. The minor changes would not lessen the effectiveness of the mitigation measure.

26. **Mitigation Measure 1:** All exterior lights shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area while meeting building code requirements. Any light spilling over onto adjacent properties caused by lighting required by building code shall be limited to the minimum lighting intensity and fixture amount required. A photometric and lighting plan shall be reviewed by the Planning Section during the building permit process to verify compliance with this condition. Prior to the final approval of the building permit, lighting shall be inspected and compliance with this requirement shall be verified.

27. **Mitigation Measure 2:** The applicant shall implement dust control measures, as listed below. Measures shall be included on plans submitted for the Building Permit and encroachment permit applications. The measures shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The measures shall include the following:
 - a. Water all active construction areas at least twice daily.
 - b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
 - c. Cover all trucks hauling soil, sand, and other loose materials, or require all trucks to maintain at least 2 feet of freeboard.
 - d. Apply water three times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at the construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
 - e. Sweep daily (preferably with water sweepers) all paved access roads, parking, and staging areas at the construction sites.
 - f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
 - g. Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
 - h. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour (mph).

- i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - j. Replant vegetation in disturbed areas as quickly as possible.
28. **Mitigation Measure 3:** The applicant shall submit an Air Quality Best Management Practices Plan to the Planning and Building Department prior to the issuance of any grading permit “hard card” or building permit that, at a minimum, includes the “Basic Construction Mitigation Measures” as listed in Table 8-1 of the BAAQMD California Environmental Quality Act (CEQA) Guidelines (May 2011). The following Bay Area Air Quality Management District Best Management Practices for mitigating construction-related criteria air pollutants and precursors shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:
- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day.
 - d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour (mph).
 - e. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
 - f. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - g. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
 - h. All construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications.

- i. Minimize the idling time of diesel-powered construction equipment to two minutes.
 - j. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
29. **Mitigation Measure 4:** Pre-Construction Nesting Bird Surveys. Prior to any Project construction-related activities (such as tree removal, grubbing, grading or other land disturbing activities), the Project proponent shall take the following steps to avoid direct losses of active nests, eggs, and nestlings and indirect impacts to avian breeding success:
- If construction-related activities occur only during the non-breeding season between August 31 and February 1, no nest surveys will be required. During the breeding bird season (February 1 through August 31), a qualified biologist shall survey areas intended for construction-related activities in the Project Area for nesting raptors and passerine birds not more than 14 days prior to any ground-disturbing activity or vegetation removal. Surveys shall include all potential habitats within 250 feet of activities for raptors, and 50 feet of activities for passerines. If results are positive for nesting birds, a qualified biologist shall advise as to whether avoidance procedures are necessary, subject to review and approval by the Community Development Director. These may include implementation of buffer areas (minimum 50-foot buffer for passerines and minimum 250-foot buffer for most raptors) or seasonal avoidance. Once established, buffer areas around active nests may be reduced on a case-by-case basis based on guidance from a qualified biologist. The biologist shall consider factors such as topography, land use, Project activities, visual screening or line-of site to active nest, and background noise levels when establishing a reduced nest buffer. The biologist shall advise whether full-time biological monitoring should be required during all activities that occur within reduced nest buffers in order to monitor the active nest(s) for signs of disturbance or "take."
30. **Mitigation Measure 5:** Environmental Training. All crewmembers shall attend an Environmental Awareness Training presented by a qualified biologist. The training shall include a description of the special-status species that may occur in the region, the project Avoidance and Minimization Measures, Mitigation Measures, the limits of the project work areas, applicable laws and regulations, and penalties for non-compliance. Upon completion of training, crewmembers shall sign a training form indicating they attended the program and understood the measures. Completed training form(s) shall be provided to the Project Planner before the start of project activities.
31. **Mitigation Measure 6:** Ground Disturbing Construction Activities. Ground disturbing construction-related activities shall occur during the dry season (June 1

to October 15) to facilitate avoidance of California red-legged frog. Regardless of the season, no construction shall occur within 24 hours following a significant rain event defined as greater than 1/4 inches of precipitation in a 24-hour period. Following a significant rain event and the 24-hour drying-out period, a qualified biologist shall conduct a preconstruction survey for California red-legged frog prior to the restart of any Project activities.

32. **Mitigation Measure 7:** Wildlife Encounters. If any wildlife is encountered during Project activities, said encounter shall be reported to a qualified biologist and wildlife shall be allowed to leave the work area unharmed. Animals shall be allowed to leave the work area of their own accord and without harassment. Animals shall not be picked up or moved in any way.
33. **Mitigation Measure 8:** Vegetation Disturbance. Disturbance to vegetation shall be kept to the minimum necessary to complete the Project activities. Prior to the Current Planning Section's approval of the building permit for the project, the applicant shall submit a Biological Protection Plan, subject to Community Development Director review and approval, showing areas to remain undisturbed by construction-related activities and protected with recommended measures (such as temporary fencing with the type to be specified by a qualified biologist). To minimize impacts to vegetation, a qualified biologist shall work with the contractor to designate work areas (including all staging areas) and designate areas to remain undisturbed and protected.
34. **Mitigation Measure 9:** Vehicle Fueling and Maintenance. All fueling, maintenance of vehicles and other equipment, and staging areas should occur at least 50 feet from the drainage swale on the northeastern edge of the project area. The edge of the 50 feet buffer zone shall be marked using visible markers by a biologist no sooner than 30 days prior to the start of construction. Equipment operators and fueling crews shall ensure that contamination of the swale does not occur during such operations by restricting all activities to outside of the buffer zone. Prior to the start of construction-related activities, a plan to allow for prompt and effective response to any accidental spills shall be submitted and subject to review and approval by the Community Development Director. All workers should be informed of the importance of preventing spills, and of the appropriate measures to take should a spill occur.
35. **Mitigation Measure 10:** Erosion and Sediment Control BMPs. Prior to the Current Planning Section's approval of a building permit, the applicant shall revise and submit the Erosion and Sediment Control Plan, subject to review and approval by the project planner. The plan shall have been reviewed by a qualified biologist prior to submittal to the County. The plan shall include measures to prevent runoff to the drainage swale on the northeastern edge of the project area and demonstrate compliance with other erosion control requirements and mitigation measures. This shall include the installation of silt fences or straw wattles between work areas and any water sources such as the drainage swale,

and around any spoil piles (e.g., loose asphalt, dirt, debris, construction-related materials) that could potentially discharge sediment into habitat areas. If straw wattles are used, they shall be made of biodegradable fabric (e.g., burlap) and free of monofilament netting

36. **Mitigation Measure 11:** In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director, subject to review and approval, a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).
37. **Mitigation Measure 12:** The applicants and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground disturbing work shall cease immediately, and the County coroner shall be notified immediately. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).
38. **Mitigation Measure 14:** At the time of building permit and encroachment permit application, the applicant shall revise as necessary and submit for review and approval the Erosion and Sediment Control Plan such that it shows how the transport and discharge of soil and pollutants from and within the project site would be minimized. The plans shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plans shall include measures that limit the application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including:
 - a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.

- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for construction.
- d. Within five (5) days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two (2) weeks of seeding/planting.
- e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and to control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet, or to the extent feasible, from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 feet of fence. Silt fences shall be inspected regularly, and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion resistant species.
- k. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
- l. No erosion or sediment control measures will be placed in vegetated areas.
- m. Environmentally-sensitive areas shall be delineated and protected to prevent construction impacts per Mitigation Measure 10.
- n. Control of fuels and other hazardous materials, spills, and litter during construction.

- o. Preserve existing vegetation whenever feasible.
39. **Mitigation Measure 15:** Should any traditionally or culturally affiliated Native American tribe respond to the County's issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation of the project, if the project has not yet been implemented.
40. **Mitigation Measure 16:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.
41. **Mitigation Measure 17:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

Grading Permit

42. Unless approved, in writing, by the Community Development Director, no grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion. The applicant shall submit a letter to the Current Planning Section stating the date when grading will begin.
43. No grading activities shall commence until the property owner has been issued a grading permit (issued as the "hard card" with all necessary information filled out and signatures obtained) by the Current Planning Section.
44. Prior to any land disturbance and throughout the grading operation, the property owner shall implement the erosion control plan, as prepared and signed by the engineer of record and approved by the decision maker. Revisions to the approved erosion control plan shall be prepared and signed by the engineer and submitted to the Community Development Director for review and approval.
45. Prior to issuance of the grading permit "hard card," the property owner shall submit a schedule of all grading operations to the Current Planning Section, subject to review and approval by the Current Planning Section. The submitted schedule shall include a schedule for winterizing the site. If the schedule of grading operations calls for the grading to be completed in one grading season, then the winterizing plan shall be considered a contingent plan to be implemented if work falls behind schedule. All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.

46. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
47. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within 30 days of the completion of grading at the project site: (a) The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval/mitigation measures, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer, and (b) The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and the Current Planning Section.
48. As the project involves over 1-acre of land disturbance, the property owner shall file a Notice of Intent (NOI) with the State Water Resources Board to obtain coverage under the State General Construction Activity National Pollutant Discharge Elimination System (NPDES) Permit. A copy of the project's NOI, WDID Number, and Stormwater Pollution Prevention Plan (SWPPP) shall be submitted to the Current Planning Section and the Building Inspection Section, prior to the issuance of the grading permit "hard card."

Building Inspection Section

49. On sheet T1, please include Title 25, Chapter 2.2 as an applicable code under general notes.
50. A "permit to operate" a Special Occupancy Park shall be obtained from the County of San Mateo Environmental Health Services upon building permit issuance.
51. The minimum average foot-candles of lighting along the full length of all roadways and walkways within the RV park shall be 0.2. It appears that the average footcandles shown on sheet E1 is over the RV park area not roadway and walkway length. As such, it appears that additional park lighting will be required.
52. A minimum of 5-foot candles of lighting shall be shown at the exterior entrances of the toilet/shower/laundry building.
53. A minimum of 10-foot candles of lighting shall be shown for the interior of toilet and shower buildings and laundry buildings.

54. Based on ~~50~~ 47 recreational vehicle spaces and eight (8) tent spaces, a minimum of three (3) toilets, showers and lavatories shall be provided for each gender.
55. The RV park and associated single story laundry/restroom facility shall meet all applicable accessibility requirements of the current California Building Code.

Geotechnical Section

56. **Mitigation Measure 13:** The design of the proposed development (upon submittal of the Building Permit) on the subject parcel shall generally follow the recommendations cited in the Geotechnical Study prepared by Sigma Prime Geosciences, Inc. and its subsequent updates regarding seismic criteria, grading, slab-on grade construction, and surface drainage. Any such changes to the recommendations by the project geotechnical engineer cited in this report and subsequent updates shall be submitted for review and approval by the County's Geotechnical Engineer.

Drainage Section

57. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Drainage Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Drainage Section for review and approval.

Department of Public Works

58. Prior to the issuance of the building permit, the applicant shall demonstrate that the existing driveway onto Capistrano Road has sufficient clearance to accommodate the largest size RV as allowed in the RV park, so that vehicles will not block access along Capistrano Road.
59. Should the access shown on the plans go through neighboring properties, the applicant shall provide documentation for "ingress and egress" easements, prior to issuance of the building permit, as required.
60. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

61. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

Environmental Health Services

62. Applicant should to obtain approval from the State Department of Housing and Community, RV/Camps Section. Once approved by the State, an annual Environmental Health permit/fees from the Housing Program will be required when the RV park is in operation.

Coastside Fire Protection District (District)

63. ~~Fire Department access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 ft. wide, asphalt, and able to support a fire apparatus weighing 75,000 pounds. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 ft. on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Road Radius shall not be less than 28 feet from center line.~~

Fire Access Roads - Add note to plans: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The City of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2016 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20- foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

64. ~~All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. Buildings shall have illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Commercial address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their back-ground and shall be no less than 6 inches in~~

~~height and have a minimum 3/4-inch stroke. Remote signage shall be a 6" x 18" green reflective metal sign.~~

Address Numbers: Building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address numbers shall be of 6-inch height with a minimum 1 1/2-inch stroke and of a color, which is contrasting with the background. Such letter/numerals shall be illuminated and facing the direction of access.

<u>Distance from Road</u>	<u>Address No. Size</u>
<u>0-50 feet</u>	<u>6-inch</u>
<u>50-100 feet</u>	<u>8-inch</u>
<u>100-150 feet</u>	<u>10-inch</u>
<u>150 + feet</u>	<u>12-inch</u>

with a corresponding increase in stroke width.

65. Address numbers and directional signs may be required at the entrance to the driveway/access road, road forks, and intersections. When located on the street the numbers shall be visible from each direction of travel. This remote signage shall consist of a 6 inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/Letters similar to Hy-Ko 911 or equivalent.
66. Contact the Fire Marshal's Office to schedule a Final Inspection prior to occupancy and Final Inspection by a Building Inspector. Allow for a minimum of 72 hours' notice to the Fire Department at 650/ 726-5213. An additional re-inspection fee may be charged for missed appointments, failure to comply or not being ready.
67. ~~A fire flow of 1500 gpm for 2 hours with a 20-psi residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on site.~~

ADD Note to plans: Approved fire hydrants (Clow 2065) must be located within 400 feet measured by way of drivable access from the proposed project. The hydrant must have a minimum flow of 1,500 gallons per minute at 20 pounds per square inch residual pressure for a minimum of 2 hours. If you have not already done so, please submit a site plan showing all underground piping to the San Mateo County Building Department for review and approval.

68. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and clearing away flammable vegetation for a distance of not

less than 30 feet and up to 100 feet around the perimeter of all structures, or to the property line, if the property line is less than 30 feet from any structure. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

69. All roof assemblies shall have a minimum CLASS-B fire resistive rating and be installed in accordance with the manufacturer's specifications and current California Building and Residential Codes.
70. ~~Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup.~~

Fire Alarm System: This project is required to have installed an approved NFPA 72 Fire Alarm System throughout. The system is to monitor any flow through the required automatic fire sprinkler system, any fire sprinkler valve tamper and all heat and smoke detectors. The system will also include an exterior bell and interior horn/strobes, which are required to be wired to the alarm system and the flow switch for the fire sprinkler system. The FACP shall be protected with a smoke detector as per NFPA 72, Section 1-5. 6 and a manual pull station. A wiring inspection is required to be conducted by the Fire District prior to covering walls and ceiling areas. All systems and components must be tested per manufactures specifications and NFPA 72. Battery backup shall meet or exceed requirements for amp-hour rating and must be tested as per manufactures specification and NFPA 72.

71. ~~An approved Automatic Fire System meeting the requirements of NFPA 13 along with an approved NFPA 72 Fire Alarm shall be required for your project. Plans shall be submitted to the San Mateo County Building Department for review and approval by the San Mateo County Fire Department.~~

Automatic Fire Sprinkler System: The proposed project must be equipped with an approved NFPA 13 fire sprinkler system throughout. You will not be issued a building permit until fire sprinkler plans are received, reviewed, and approved by the fire district. If you have not already done so, please submit the required plans to the San Mateo County Building Inspection Section. Please be advised that the sprinkler system design shall be based on an at least Light Hazard or higher classification based on stored commodity. Please provide information as to commodity. Please submit plans showing the location of all required fire sprinkler hardware to the San Mateo County Building Inspection Section

72. Street signs shall be posted at each intersection conforming to the standards of the Department of Public Works.
73. Unobstructed fire sprinkler coverage: shall extend to all areas in the occupancy. Any areas creating compartmentalization due to new walls shall have additional sprinkler heads installed to provide unobstructed coverage. Any heat producing appliances that are hooked up to an electrical power source, natural or propane gas, and are operational shall not have sprinkler heads located within their respective heat zones.
74. Clearly identify fire service line on plans and verify that line meets minimum size for fire sprinkler hydraulic calculations.
75. Provide complete General Information Sign, placed at the riser on plans (NFPA 13 section 25.6.2).
76. Fire Sprinkler Hardware: Along with the automatic fire sprinkler system, this project is required to install all related fire sprinkler hardware (Post Indicator Valve, Fire Department Connection and Exterior Bell). You will not be issued a building permit until plans have been submitted, reviewed and approved by the fire district. Please submit plans showing the location of all required fire sprinkler hardware to the San Mateo County Building Inspection Section.
77. "No Parking - Fire Lane" signs shall be provided on both sides of roads 20 to 26 feet wide and on one side of roads 26 to 32 feet wide. CFC D103.6
78. Exit Doors: Exit doors shall be of the pivoted type or side hinged swinging type. Exit doors shall swing in the direction of exit when serving an occupant load of 50 or more.
79. Exit Door Hardware: Exit door(s) shall be operable from the inside without the use of a key, special knowledge or effort. Exception: Main exit doors may be equipped with a keyed-locking device if there is a readily visible sign on or adjacent to the door stating "THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED". The letters in the sign shall not be less than 1-inch in height.
80. Exit Illumination: Signs shall be internally or externally illuminated by two electric lamps or shall be of an approved self-luminous type. Power Supply: Current supply to one of the lamps for exit signs shall be provided by the premises wiring system. Power to the other lamp shall be from storage of batteries or an on-site generator set. Include exit illumination with electrical plans and submit to the San Mateo County Building Inspection Section for review and approval.
81. Exit signs shall be internally illuminated with approved emergency lighting.

82. Occupancy Load Sign: Any room having an occupant load of 50 or more where fixed seats are not installed, and which is used for classroom, assembly or similar purpose, shall have the capacity of the room posted in a conspicuous place.
83. Emergency Building Access: The proposed project will require the installation of "Knox Boxes". These emergency key boxes are required when access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life saving or fire-fighting purposes. The Chief will determine the location for the key box and provide an authorized order form. All security gate systems controlling vehicular access shall be equipped with a "Knox"; key operated; emergency entry device. For application and instructions please email jriddell@fire.ca.gov and ramores@fire.ca.gov if you need further assistance please contact Coastside Fire Protection District at 650/726-5213.
84. Fire Alarm System: This project is required to have installed an approved NFPA 72 Fire Alarm System throughout. The system is to monitor any flow through the required automatic fire sprinkler system, any fire sprinkler valve tamper and all heat and smoke detectors. The system will also include an exterior bell and interior horn/strobes, which are required to be wired to the alarm system and the flow switch for the fire sprinkler system. The FACP shall be protected with a smoke detector as per NFPA 72, Section 1- 5. 6 and a manual pull station. A wiring inspection is required to be conducted by the Fire District prior to covering walls and ceiling areas. All systems and components must be tested per manufactures specifications and NFPA 72. Battery backup shall meet or exceed requirements for amp-hour rating and must be tested as per manufacture specification and NFPA 72.
85. Provide Penetration protection in all membranes through fire rated assemblies (ie, dampers, fire caulking).
86. All doors in corridors shall have a 3/4 fire rated door and jamb with closer and smoke gasket. 2106 CFC Sec.1020.
87. ADD Note to plans: Solar Photovoltaic Systems: These systems shall meet the requirements of the 2016 CFC Section 605. 11.
88. Traffic calming devices shall be prohibited unless approved by the fire official. Section 503.4.1. 2016 CFC.
89. A Certificate of Completion for Fire Sprinkler System requirement at final inspection.
90. A Certificate of Completion for Fire Alarm required at final inspection.

91. A Certificate of Completion for Fire Suppression System required at final inspection.
92. A Certificate of Completion for Underground required at final inspection.
93. A current 5-year Certification for the Fire Sprinklers and Fire Alarm required at final inspection.
94. Community Facilities District: The Fire District requires the formation of a Mello-Roos Community Facilities District (CFD) for all new construction of three or more residential units. Please contact the Fire District administration office for more details. Please be advised that the formation of a CFD takes approximately three months. The formation of a CFD is a condition of development and required to be completed prior to Fire District final approval and sign-off on the project.
95. All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect, and engineer of these requirements Our review is not construed as encompassing the structural integrity of the facility nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary test.

Coastside County Water District

96. Backflow protection is required on all water services.
97. Fire service should be provided from the 12-inch-high pressure water main located on Capistrano Road.
98. Domestic service and irrigation service should be provided from the 10-inch water main on Capistrano Road.
99. Metering will be determined after the water demand and water capacity has been determined.
100. Point of connection(s) locations will be determined once the District clearly understands the location of all other utilities. The District requires adequate separation from sewer, electrical and gas services.
101. Water demand/end uses need to be clearly shown on the drawings. Additional water demand worksheets are required by Coastside County Water District. Those worksheets will be provided when the District receives actual construction plans and fire system plans for building permit approvals.
102. Purchased water capacity will be determined once the District reviews and determines water demand.

103. Type of water capacity (priority vs. non-priority) must comply with the county's Local Coastal Program.
104. Provide adequate clearance around existing public utility easements/water mains. It appears that tent camping, proposed landscaping and fencing along Capistrano Road may encroach upon the District's easement for the 12-inch-high pressure main. The 12-inch high pressure main is dedicated to fire services and is located on Capistrano Road. Please show location of the 12-inch and 10-inch water mains on the civil plans along with the public utility easement. Trees shall not be planted within the public utility easement for water mains. Signage should not be placed in public utility easement for water mains.
105. Coastside County Water District needs additional information to determine the amount of capacity required to serve the proposed RV Park. Detailed landscape and irrigation plans (pipes and valves) must be submitted to determine the size of the dedicated irrigation service. Trees shall not be planted in public utility easements for water mains.
106. The project is required to comply with Coastside County Water District's regulations. District staff performs inspections to verify compliance with all Coastside County Water District regulations during and after construction. Approved backflow protection is required on domestic, irrigation and fire services.
107. If fire sprinklers are required for any of the structures, please note that Coastside County Water District does not allow passive purge systems to be installed. Fire protection services are authorized for the sole purpose of fire protection and there shall be no cross connections. The District cannot complete their review of the proposed project until the Coastside Fire Protection District has approved the fire system requirements, including fire hydrants.

Granada Community Services District

108. A sewer permit shall be required. A set of approved plans showing the on-site and off-site sewers with the application.

Caltrans

109. Any work or traffic control that encroaches onto the state ROW requires an encroachment permit that is issued by the Department. To apply, a completed encroachment permit application, environmental documentation, and five (5) sets of plans clearly indicating state ROW must be submitted to: Office of Permits, California DOT, District 4, P.O. Box 23660, Oakland, CA 94623-0660. Traffic related mitigation measures should be incorporated into the construction plan during the encroachment permit process. See the website link below for more information. <http://www.dot.ca.gov/hq/traffops/developserv/permits/>.

110. Project work that requires movement of oversized or excessive load vehicles on state roadways requires a transportation permit that is issued by Caltrans. To apply, visit: <https://dot.ca.gov/programs/traffic-operations/transportation-permits>. Prior to construction, coordination is required with Caltrans to develop a Transportation Management Plan (TMP) to reduce construction traffic impacts to the state transportation network. A copy of the approved TMP shall be submitted to the Planning Section prior to issuance of the building permit.
111. If utilities within Caltrans ROW will be impacted by the project, provide site plans that show the location of existing and/or proposed utilities. These modifications shall require a Caltrans-issued encroachment permit.

California Department of Housing and Community Development

112. All permits and licenses required by the California Department of Housing and Community Development for this project shall be forwarded to the Planning Section prior to building permit final.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



San Mateo County Planning & Building Dept.

Owner/Applicant: **Pillar Point Developers/Stefanick**

Attachment: **B**

PLN2017-00320



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: December 11, 2019

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of (1) the adoption of an Initial Study and Mitigated Negative Declaration and (2) a Coastal Development Permit, Use Permit, Design Review Permit, Mobilehome Park Permit, and a Grading Permit, for the construction of a new 50-space Recreational Vehicle (RV) park, 7 tent camping spaces, plus a shower and laundry building located on a legal 3.356-acre parcel (legality confirmed via Lot Line Adjustment: LLA 94-0014) at 240 Capistrano Road in the Princeton area of unincorporated San Mateo County. The construction of the RV park involves 4,500 cubic yards of cut and 4,575 cubic yards of fill. No trees are proposed for removal. The project is appealable to the California Coastal Commission.

County File Number: PLN 2017-00320 (Stefanick)

PROPOSAL

The applicant, Ron Stefanick of Point Pillar Project Developers, has submitted an application to construct a new recreational vehicle (RV) park on a legal, undeveloped parcel at the west corner of the intersection of Cabrillo Highway (Highway 1) and Capistrano Road. The proposed RV park includes 50 RV spaces, 7 tent camping spaces, and a shower and laundry building and two (2) roofed 120 square foot trash enclosure. The shower and laundry building is required to have three (3) toilets, showers, and lavatories per building code as noted in Condition 48. The applicant has submitted a conceptual set of revised plans for the building to accommodate the aforementioned building code requirements (Attachment K). The construction of the RV park involves 4,500 cubic yards of cut and 4,575 cubic yards of fill. No trees are proposed for removal. The applicant proposes to enclose the RV park with a new split rail natural-stained wood fence (4-feet high along Cabrillo Highway and 3-feet high along Capistrano Road).

The RV park would have an on-site manager available at all times to oversee the maintenance of the park and enforce rules and regulations, including those that pertain to trash and noise. Stays would be limited to no more than 28 consecutive days and 90 days annually per RV, as required by the policies of the Local Coastal Program (LCP).

Customers who would like to use the tent camping spaces would be able to walk-in without a vehicle.

RECOMMENDATION

That the Planning Commission adopt the Initial Study/Mitigated Negative Declaration and approve the Coastal Development Permit, Use Permit, Design Review Permit, Mobilehome Park Permit, and Grading Permit by making the required findings and adopting the conditions of approval identified in Attachment A.

SUMMARY

The undeveloped site is located at the corner of Cabrillo Highway and Capistrano Road. The area to the north contains commercial uses in the unincorporated community of El Granada. The area to the northwest contains agricultural land. A parking lot for Pillar Point Harbor is located to the southeast. The areas to the southwest contain commercial uses, anchored by the Oceano Hotel. The project site has been previously used for temporary events such as pumpkin sales during annual holidays and as overflow parking for the adjacent commercial development.

The project complies with the Soil Resources Policies of the County's General Plan and the Grading Regulations of the County's Building Regulations. Review of the grading and erosion control plans – together with the County Geotechnical Section's review of submitted geotechnical studies and the Department of Public Works' review of the drainage reports - was critical to ensure that the development and its associated grading during construction and post-construction stormwater drainage was adequately contained on site and did not adversely affect or increase erosion. The associated mitigation measures and the conditions of approval will ensure that the project can be completed without significant harm to the environment.

The project also complies with the Visual Quality Policies of the County's General Plan, the Visual Resources Component of the County's Local Coastal Program (LCP), and the Design Review District Standards of the County's Zoning Regulations. Due to the presence of intervening trees and development, including mature Monterey Cypress trees along Cabrillo Highway, various mature trees spread throughout Pillar Point Harbor to the southeast, and the one- and two-story commercial structures to the southwest, public views of the Pacific Ocean are substantially blocked from viewing locations at the site and the portion of Cabrillo Highway which fronts the project site. When driving along Cabrillo Highway closer to the corner of Capistrano Road and Cabrillo Highway, there is a narrow viewshed of the Pacific Ocean which has the potential to be impacted by the project. To ensure minimal blockage of this view, proposed landscaping is limited to groundcover and low-growing shrubs at the corner of Capistrano Road and Cabrillo Highway and along the entire stretch of Capistrano Road adjacent to the property. In addition, no RV parking spaces are proposed along the Capistrano Road side of the property to further minimize view blockage. As part of the project scope, the existing grade level would be lowered by approximately 1-foot relative

to the elevation of the adjacent Cabrillo Highway, further minimizing the effects of any views being blocked by vertical elements. The proposed one-story laundry/shower building reflects the nautical character of the harbor setting, employs natural colors (Kelly Moore's Lover's Hideaway (dark beige)), and uses pitched roofs. The proposed materials such as horizontal fiber cement siding and brown composition shingle, have a natural appearance. Signage will be limited to the existing monument and tower signs that serve the existing Harbor Village development.

The project complies with the Recreation/Visitor-Serving Facilities component of the Local Coastal Program and the Coastside Commercial Recreation (CCR) zoning district regulations of the County's Zoning Regulations. The proposed RV park is a visitor serving and a commercial recreation facility that will provide support services and low-cost lodging to the visitors of the coast. The tent camping spaces will provide an even more affordable form of lodging relative to the RV spaces. Per LCP Policy, stays would be limited to no more than 28 consecutive days, and no more than 90 days per year.

The project complies with the Public Works component of the Local Coastal Program which considers Service Level D (LOS D) acceptable during commuter peak periods and Service Level E (LOS E) acceptable during recreation peak periods. A Traffic Impact Analysis (Hexagon TIA) was prepared by Hexagon Transportation Consultants, Inc. for the project, and peer-reviewed for the County by DKS Associates. According to the Hexagon analysis, the proposed development would generate a total of 20 trips (7 incoming and 13 outgoing) during the AM peak hour, 25 trips (16 incoming and 9 outgoing) during the PM peak hour, and 24 trips (11 incoming and 13 outgoing) during the Saturday midday peak hour. The Hexagon analysis determined that, under all scenarios with and without the project, all studied intersection would operate at an acceptable level of service (LOS C or better, with each individual movement operating at LOS D or better). The analysis indicates that vehicles on the stop-controlled approaches (Pillar Point Harbor Boulevard and the Shoppes at Harbor Village private driveway) would experience minimal increases in delay with added project traffic. Additionally, the Governor's Office of Planning and Research's Technical Advisory on Evaluating Transportation Impacts states that land use projects "may be assumed to cause a less-than significant transportation impact" if they generate or attract fewer than 110 trips per day.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: December 11, 2019

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of (1) adoption of an Initial Study and Mitigated Negative Declaration, pursuant to the California Environmental Quality Act, and (2) a Coastal Development Permit, Use Permit, Design Review Permit, and Mobilehome Park Permit, pursuant to Sections 6328.4, 6267, 6268, and 6540 of the County Zoning Regulations, and a Grading Permit, pursuant to Section 9283 of the County Building Regulations (Division VII, Chapter 5), for the construction of a new 50-space Recreational Vehicle (RV) park, 7 tent camping spaces, plus a shower and laundry building located on a legal 3.356-acre parcel (legality confirmed via Lot Line Adjustment: LLA 94-0014) at 240 Capistrano Road in the Princeton area of unincorporated San Mateo County. The construction of the RV park involves 4,500 cubic yards of cut and 4,575 cubic yards of fill. No trees are proposed for removal. The project is appealable to the California Coastal Commission.

County File Number: PLN 2017-00320 (Stefanick)

PROPOSAL

The applicant, Ron Stefanick of Point Pillar Project Developers, has submitted an application to construct a new recreational vehicle (RV) park on a legal, undeveloped parcel at the west corner of the intersection of Cabrillo Highway (Highway 1) and Capistrano Road. The proposed RV park includes 50 RV spaces, 7 tent camping spaces, and a shower and laundry building and two (2) roofed 120 square foot trash enclosure. The shower and laundry building is required to have three (3) toilets, showers, and lavatories per building code as noted in Condition 48. The applicant has submitted a conceptual set of revised plans for the building to accommodate the aforementioned building code requirements (Attachment K). The construction of the RV park involves 4,500 cubic yards of cut and 4,575 cubic yards of fill. No trees are proposed for removal. The applicant proposes to enclose the RV park with a new split rail natural-stained wood fence (4-feet high along Cabrillo Highway and 3-feet high along Capistrano Road).

The RV park would have an on-site manager available at all times to oversee the maintenance of the park and enforce rules and regulations, including those that pertain to trash and noise. Stays would be limited to no more than 28 consecutive days and 90

days annually per RV, as required by the policies of the Local Coastal Program (LCP). Customers who would like to use the tent camping spaces would be able to walk-in without a vehicle.

RECOMMENDATION

That the Planning Commission adopt the Initial Study/Mitigated Negative Declaration and approve the Coastal Development Permit, Use Permit, Design Review Permit, Mobilehome Park Permit, and Grading Permit by making the required findings and adopting the conditions of approval identified in Attachment A.

BACKGROUND

Report Prepared By: Ruemel Panglao, Project Planner

Applicant: Ron Stefanick

Owner: Point Pillar Project Developers

Location: 240 Capistrano Road, Princeton

APN(s): 047-081-430

Size: 3.356 acres

Existing Zoning: CCR/DR/CD (Coastside Commercial Recreation/Design Review/Coastal Development)

General Plan Designation: Coastside Commercial Recreation (Urban)

Local Coastal Plan Designation: Coastside Commercial Recreation

Sphere-of-Influence: Half Moon Bay

Existing Land Use: Vacant; the parcel has been previously used for temporary events such as pumpkin sales during annual holidays and as overflow parking for the adjacent commercial development.

Water Supply: Coastside County Water District

Sewage Disposal: Granada Community Services District

Flood Zone: FEMA Flood Insurance Rate Map designation indicates parcel as Zone X, Area of Minimal Flooding, Community Map No. 06081C0138F, dated August 2, 2017.

Environmental Evaluation: An Initial Study and Mitigated Negative Declaration (IS/MND) was prepared for this project and was circulated from September 18 through October 18, 2019. Further discussion is provided in Section B of this report.

Setting: The undeveloped site is located at the corner of Cabrillo Highway and Capistrano Road. The area to the north contains commercial uses in the unincorporated community of El Granada. The area to the northwest contains agricultural land. A parking lot for Pillar Point Harbor is located to the southeast. The areas to the southwest contain commercial uses, anchored by the Oceano Hotel.

Chronology:

<u>Date</u>	<u>Action</u>
August 9, 2017	- Application submitted.
March 6, 2018	- The County released an RFP to find a traffic consultant to conduct a peer review of the applicant's traffic impact analysis prepared by Hexagon Traffic Consultants (Hexagon TIA).
March 19, 2018	- At the end of the RFP period, the County received no proposals from traffic consulting firms to complete the peer review and was therefore unsuccessful in retaining a consultant.
November 8, 2018	- The County retained a traffic consultant (DKS Associates) to conduct a peer review of the applicant's traffic impact analysis prepared by Hexagon Traffic Consultants (Hexagon TIA).
January 5, 2019	- The project's compliance with the state's Model Water Efficient Landscape Ordinance (MWELo) was confirmed by the County's MWELo consultant.
January 28, 2019	- In its peer review, the DKS Associates finds the applicant's revised traffic impact analysis prepared by Hexagon Traffic Consultants' sufficient.
June 20, 2019	- Applicant submits an archaeological report for review after the Northwest Information Center of the California Historical Resources Information System determines that archaeological resources may be at the subject site.

- August 18, 2019 - IS/MND is posted with the State Clearinghouse, County Clerk and on the Planning and Building Department's website. The 30-day public review period begins.
- October 17, 2019 - The California Coastal Commission requests a 6-day extension to provide comments on the IS/MND.
- October 24, 2019 - End of public review period for IS/MND.
- November 26, 2019 - A conceptual design for the laundry and shower building is submitted (Attachment K). These plans were submitted in response to building code requirements which require additional toilets, lavatories, and showers.
- December 11, 2019 - Planning Commission public hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with applicable General Plan Policies, including the following:

a. Soil Resources

Policy 2.17 (*Regulate Development to Minimize Soil Erosion and Sedimentation*) requires that development minimize soil erosion and sedimentation, including, but not limited to, measures which consider the effects of slope and the stabilization of disturbed areas. The site has a moderate slope of 2%, from the property line along Cabrillo Highway (Highway 1). The construction of the RV park involves 4,500 cubic yards of cut and 4,575 cubic yards of fill. The nearly balanced earthwork is necessary in order to flatten the site and to provide on-site bio-retention systems to treat project stormwater run-off, as required by the Municipal Regional Permit (MRP). Total land disturbance is 2.9 acres. Conditions 21, 22, and 29 (Mitigation Measures 2, 3, and 10, respectively) provide measures to minimize erosion and sedimentation during project construction activities.

b. Visual Qualities

Policies 4.15(a) (*Appearance of New Development*), 4.22 (*Scenic Corridors*), and 4.36 (*Urban Area Design Concept*) require

development in urban areas to promote and enhance good design, siting, site relationships, and other aesthetic considerations which should protect the visual quality of the scenic corridor and maintain the character of development. The proposed project is located within the Cabrillo Highway County Scenic Corridor. The architectural elements and exterior materials and colors proposed for the one-story laundry and shower building, two (2) 120 square foot trash enclosures, and new split rail wood fence (4-feet high along Cabrillo Highway and 3-feet high along Capistrano Road) work to enhance the overall design of the RV park in conjunction with the proposed landscaping. The height of the proposed laundry/shower building is 16 feet 7 inches, which is below the maximum height of 28 feet. The proposal did not include details of the trash enclosures. Staff has added Condition No. 3 to require the trash enclosures to match the aesthetics of the laundry/shower building and to require the applicant to provide detailed drawings prior to Planning approval of the building permit. The shower and laundry building is required to have three (3) toilets, showers, and lavatories per building code. The applicant has submitted a conceptual set of revised plans for the building to accommodate the aforementioned building code requirements (Attachment K). While the existing views to the Pacific Ocean from Cabrillo Highway are minimal with intervening commercial development, such views would be preserved. Existing views are shown in Attachment J. The project has been reviewed against the applicable Design Review guidelines and regulations and has been found to conform to those standards. Further discussion can be found in Sections A.2 and A.5 of this report.

c. Park and Recreation Resources

Policy 6.30 (*Minimize Traffic and Litter Problems*) encourages recreationists to properly dispose of litter in recreation facilities. The applicant proposes two roofed, 120 square foot trash enclosures. The proposal also includes an on-site manager present at all times to monitor the RV Park and to enforce applicable policies related to litter (Attachment L).

2. Conformance with the Local Coastal Program

A Coastal Development Permit is required pursuant to Section 6328.4 of the Zoning Regulations for development in the Coastal Development (CD) District. The parcel is located in the Cabrillo Highway County Scenic Corridor. Because an RV park is a conditionally permitted use in the Coastside Commercial Recreation/Design Review (CCR/DR/CD) zoning district, as discussed in Section 4 of this report, the project requires a Use Permit and is therefore appealable to the California Coastal Commission.

Staff has determined that the project is in compliance with applicable Local Coastal Program (LCP) Policies, elaborated as follows:

a. Locating and Planning New Development

Policy 1.3 (*Definition of Urban Area*) recognizes that in the creation of the urban/rural boundary, some land has been included within the urban boundary which should be restricted to open space uses and not developed at relatively high densities, such as lands containing prime agricultural soils and sensitive habitats.

In addition to the subject parcel, the developed area of Princeton and a large portion of the Harbor District property to the southeast also contain prime soils. The subject parcel has been disturbed by temporary events including pumpkin sales and overflow parking uses and has not been farmed in the recent past. Also, the project site is zoned Coastside Commercial Recreation and is similarly designated in the General Plan and Local Coastal Program. Listed permitted uses of the zoning district do not include agricultural use. The parcel is not subject to an existing Open Space Easement. The proposed RV park use is not considered high density development. Further discussion can be found in the IS/MND (Attachment L).

b. Public Works

Policy 2.43 (*Desired Level of Service*) considers Service Level D acceptable during commuter peak periods and Service Level E acceptable during recreation peak periods. Policy 2.52 (*Traffic Mitigation for all Development in the Urban Midcoast*) requires a traffic impact analysis for new development that accounts for cumulative effects along with any future planned projects. A Traffic Impact Analysis (Hexagon TIA), dated January 18, 2019, was prepared by Hexagon Transportation Consultants, Inc. for the project, and peer-reviewed for the County by DKS Associates. According to the Hexagon analysis, the proposed development would generate a total of 20 trips (7 incoming and 13 outgoing) during the AM peak hour, 25 trips (16 incoming and 9 outgoing) during the PM peak hour, and 24 trips (11 incoming and 13 outgoing) during the Saturday midday peak hour.

The Hexagon analysis determined that under all scenarios with and without the project, the signalized study intersection, Cabrillo Highway (SR 1)/Capistrano Road, would operate at an acceptable level of service (LOS C or better, with each individual movement operating at LOS D or better) during the AM, PM, and Saturday midday peak hours.

In addition, the analysis results show that under all scenarios with and without the project, the two-way stop-controlled study intersection would operate at LOS C or better during all peak hours. The analysis indicates that vehicles on the stop-controlled approaches (Pillar Point Harbor Boulevard and the Shoppes at Harbor Village private driveway) would experience minimal increases in delay with added project traffic.

On January 28, 2019, in its peer review of the Hexagon TIA, DKS Associates found the Hexagon TIA to be sufficient. Review of the Hexagon TIA by the Department of Public Works is not required as the project does not meet the 100-vehicle trip threshold for significant adverse impact on traffic conditions in San Mateo County per the 2013 Traffic Impact Study Requirements.

Additionally, the Governor's Office of Planning and Research's Technical Advisory on Evaluating Transportation Impacts states that land use projects "may be assumed to cause a less-than significant transportation impact" if they generate or attract fewer than 110 trips per day.

c. Agriculture

Policy 5.22 (*Protection of Agricultural Water Supplies*) requires the protection of agricultural water supplies. There is no well currently on the parcel.

d. Visual Resources

Policies 8.12(2) (*General Regulations*) and 8.32 (*Regulation of Scenic Corridors*) require the application of Section 6565.17 (*Design Review Districts*) of the Zoning Regulations and the design criteria set forth in the Community Design Manual for all development in urban areas of the Coastal Zone, as discussed below:

- (1) Design Review District (Section 6565.17) and Community Design Manual standards:

Paved Areas, Landscaping, and View Preservation

Paved areas should integrate into the site, relate to any existing and proposed structures, and include landscape areas to reduce visual impact from residential areas and from roadways. Public views from public roads and along scenic corridors must be protected.

The asphalt-paved areas are limited to the drive aisles. In an effort to minimize impervious surfaces, the parking areas would utilize pervious pavers. The applicant has proposed multiple landscaped areas with significant vegetation inside of the park and along the perimeter to visually soften views of the project.

Due to the presence of intervening trees and development, including mature Monterey Cypress trees along Cabrillo Highway, various mature trees spread throughout Pillar Point Harbor to the southeast, and the one- and two-story commercial structures to the southwest, public views of the Pacific Ocean are substantially blocked from viewing locations at the site and the portion of Cabrillo Highway which fronts the project site. When driving along Cabrillo Highway closer to the corner of Capistrano Road and Cabrillo Highway, there is a narrow viewshed of the Pacific Ocean which has the potential to be impacted by the project. The viewshed is presented in Attachment J. To ensure minimal blockage of this view, proposed landscaping is limited to groundcover and low-growing shrubs at the corner of Capistrano Road and Cabrillo Highway and along the entire stretch of Capistrano Road adjacent to the property. In addition, no RV parking spaces are proposed along the Capistrano Road side of the property to further minimize view blockage. As part of the project scope, the existing grade level would be lowered by approximately 1-foot relative to the elevation of the adjacent Cabrillo Highway, further minimizing the effects of any views being blocked by vertical elements. A Section-Elevation with cars and RVs provided in the project plans visually demonstrates the grade difference between Cabrillo Highway and the proposed elevation of the RV park (Attachment C).

Signs

Signs should be simple, well designed and constructed of materials which harmonize with their surroundings. Signage for the RV Park would consist of panels located on existing multi-tenant monument and 1 tower sign for the Harbor Village property.

Policy 8.13b (*Special Design Guidelines for Coastal Communities*) applies supplemental design criteria for the Princeton-by-the-Sea community which require structures to be designed to reflect the nautical character of the harbor setting, are of wood or shingle siding, employ natural or sea colors, and use pitched roofs. The proposed materials and colors for the

one-story laundry/shower building, such as horizontal fiber cement siding in Kelly Moore's Lover's Hideaway (dark beige), have a natural appearance. The building uses gable roofs, including a non-reflective, brown composition shingle as the primary roof material. Condition No. 3 requires the roofed trash enclosures to match the color and materials of the laundry/shower facility.

e. Recreation/Visitor-Serving Facilities

Policies 11.4 (*Recreation and Visitor-Serving Facilities Permitted in the Coastal Zone*), 11.5 (*Priority to Visitor-Serving and Commercial Recreation Facilities*), 11.7(c) (*Urban Areas*), and 11.22(b) (*Encourage Facility Development by the Private Sector*) permits, encourages and prioritizes visitor-serving and commercial recreation uses and facilities in the Coastal Zone. The proposed RV park is a visitor serving facility as defined by Policy 11.1 and a commercial recreation facility as defined by Policy 11.2. As a private development, the RV park would provide support services to the RV and tent camping segments of visitors that frequent the coast.

Policy 11.23 (*Low Cost Facilities*) encourages low cost facilities in privately developed visitor-serving facilities which are open to the general public. Recreational vehicle parks can be a form of low-cost recreational land use that provides access to the coast. In addition, the tent camping spaces will provide an even more affordable form of lodging relative to the RV spaces. These types of low-cost lodging benefits the visitors that may not be in a position to afford more costly accommodations in the surrounding area.

Policy 11.15(c)(1) (*Private Recreation and Visitor Serving Facilities*) requires a deed restriction as a condition of approval that affirms that the development will remain a visitor-serving use exclusively available to the general public and limits visitor length of stays to no more than 29 consecutive days, and no more than 90 days per year. The applicant has proposed stays of no more than 28 consecutive days and no more than 90 days per year (Attachment L). These requirements are fulfilled by Condition No. 19 of this permit.

Policy 11.21 (*Shoreline Access*) requires that any development along the shoreline provide access in accordance with the policies of the Shoreline Access Component. Policy 10.1 (*Permit Conditions for Shoreline Access*) requires some provision for shoreline access for development between the sea and nearest road. The project site is not located between the nearest public road (Capistrano Road) and the sea. Therefore, Policy 11.21 does not apply. However, the project

does propose a vehicular and pedestrian connection to established circulation on Capistrano Road that would allow for easy access to the shoreline from the project site.

3. Conformance with the Half Moon Bay Airport Land Use Compatibility Plan

The project site is located approximately 900 feet east of the southeasterly boundary of the Half Moon Bay Airport, a public airport operated by the County Department of Public Works. Development within certain proximities of the airport are regulated by applicable policies and requirements of the Final Half Moon Bay Airport Land Use Compatibility Plan (ALUCP), as adopted by the City/County Association of Governments (C/CAG) on October 9, 2014. The overall objective of the ALUCP safety compatibility guidelines is to minimize the risks associated with potential aircraft accidents for people and property on the ground and to enhance the chances of survival for aircraft occupants involved in an accident that occurs beyond the runway environment. ALUCP's safety zone land use compatibility standards restrict land use development that could pose particular hazards to the public or to vulnerable populations in case of an aircraft accident.

A large majority of the project site is located in the Airport Influence Area (Runway Safety Zone 7), where accident risk level is considered to be low. The bathroom/laundry building would be located within this zone.

A small portion of the west corner of the project site (approximately .13 acre of the 3.356 acres of the total site) is located in the Airport Influence Area (Zone 2), the Inner Turning Zone (ITZ), where accident risk level is considered to be moderate to high as approximately seven percent of general aviation aircraft accidents occur in an ITZ Zone. The ITZ Zone does not identify RV parks as a prohibited use. Additionally, the proposed use complies with the other ITZ development conditions in the Safety Criteria Matrix of the ALUCP such as locating the structure a maximum distance from the extended runway centerline and maintaining a less than 35-ft. building height. No project structures are proposed within the ITZ. Four (4) RV spaces and two (2) guest parking spaces are within the ITZ. The ITZ does not directly address the proposed use but prohibits buildings with more than three above ground habitable floors. The maximum height of any RVs parked in the ITZ would not exceed the height limit of the CCR zoning district (28 feet), which is less than the ITZ height limit.

4. Conformance with the Coastside Commercial Recreation/Design Review (CCR/DR/CD) Development Standards

The project site is located within the Coastside Commercial Recreation (CCR) Zoning District which allows commercial recreation and visitor-

serving uses that are not listed in the ordinance, subject to a use permit, if they are deemed a compatible land use. These uses must be consistent with the purpose of the district and compatible with other permitted land uses. Staff has determined that the proposed 50 space RV park and associated uses meet the purpose of the CCR Zoning District in that it is primarily oriented towards meeting the service and recreational needs of Coastside visitors. In addition, the use is compatible with other permitted uses in the CCR Zoning District, most notably small and large hostelrys which similarly provide sources of lodging.

CCR Development Standards		
Standard	Required	Proposed
Minimum Side Yard Setbacks	5 ft., combined total of 15 ft.	82 ft. left side 255 ft. right side
Maximum Impervious Surface Area (<18" from grade)	10%*	35%
Maximum Lot Coverage	50%	0.59%
Maximum Building Height	36 ft.	16 ft. 7 in.
Minimum Parking Spaces	1	17
* An exception to the limit may be granted by the Community Development Director for select development upon finding that off-site project drainage, i.e., runoff, will not exceed that amount equivalent to 10% (parcel size).		

a. Protection of Coastal Resources

Development shall be sited and designed to provide maximum feasible protection of coastal resources including, but not limited to, marine views. Further discussion can be found in Section A.2 of this report.

b. Impervious Surface Area

The amount of parcel area covered by impervious structures less than 18 inches in height is limited to 10% of the parcel size. An exception to the limit may be granted for select development upon finding that off-site project drainage, i.e., runoff, will not exceed that amount equivalent to 10 percent (parcel size). The County Drainage Policy requires that post pre-development runoff amounts do not exceed pre-development runoff amounts. The project, which includes drainage facilities, was reviewed by the County's Department of Public Works and found to meet this policy.

c. Landscaping

Landscaping must be provided in all yards abutting a public street, except that portion necessary for driveways and sidewalks. Landscaping areas would be provided in the yards abutting Cabrillo Highway and Capistrano Road.

d. CCR Zoning District Use Permit Findings

The applicant is seeking a use permit to operate a 50 space RV park and associated uses as required in the CCR zoning district for Other Compatible Uses. In order for the Planning Commission to approve a use permit, the following findings are required.

1. *That the design and operation of the proposed use will further the purpose of this Chapter as stated in Section 6265. The purpose of the CCR Zoning District is to limit and control the use and development of land designated as commercial recreation in the Local Coastal Program in order to establish commercial areas which:*

- a. are primarily oriented toward meeting the service and recreational needs of Coastside visitors, boat users and Coastside residents seeking recreation;*
- b. are active and pedestrian-oriented, while meeting the need for safe and efficient automobile access and parking;*
- c. have an intimate, human scale;*
- d. have a unified design theme appropriate to their location;*
- e. provide public access to nearby coastal areas; and*
- f. protect coastal resources.*

2. That the design and operation of the proposed use will conform with the development standards stated in Section 6269. The project conforms to the applicable development standards in Section 6269 of the CCR Zoning District Regulations as discussed in this Section.

e. Finding for Use Permit

Section 6503 requires that, in order to grant the use permit as applied for or conditioned, the findings of the Planning Commission must

include “That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.”

The project is compatible with the type and appearance of other existing commercial/visitor-serving development in the surrounding area. As previously mentioned, the proposed RV Park would include 50 RV spaces and 7 tent spaces. The facility would be open to the public year-round with a limit on stays (28 days consecutively and 90 days annually), which is compatible with the operation of other lodging establishments in the surrounding area.

Furthermore, the project is not considered a destination attraction that would cause a significant increase or change in pedestrian or vehicle traffic patterns. The use is intended to provide supportive lodging services for people that visit the coastside for other primary reasons. As discussed in the IS/MND, the traffic impact analysis found that the proposed project would not have a significant impact on traffic in the area. Also, the IS/MND determined that the project would not pose a significant safety impact to other vehicles, pedestrians or bicycles. The Hexagon analysis notes that the overall network of sidewalks and crosswalks in the study area has good connectivity and provides pedestrians with safe routes to buses and other points of interest in the vicinity of the project site and that the sidewalks and bikeways in the vicinity of the project site are adequate to serve the proposed RV park. There is no evidence to suggest that the proposed project will have any detrimental effects upon coastal resources or result in adverse impacts to properties or improvements in the area.

5. Conformance with Design Review District Standards

Pursuant to Section 6268 (Design Review) of the CCR Zoning District regulations and provided the project parcel is located in a Design Review overlay, the project is subject to design review. Non-residential development is required to comply with the design guidelines and criteria of the Community Design Manual and the LCP’s Visual Resources and Special Communities Component.

Conformance with the applicable Site Design criteria of the Community Design Manual, including paved areas, landscaping, view preservation, and signs, are discussed in Section A.2 of this report. The Site Design criteria for grading requires that grading be carefully controlled to reduce erosion, minimize impacts on natural systems, and maintain surface runoff at existing levels. Conformance with these standards can be found in Section A.7 of

this report. See Section A.2 for discussion on the project’s compliance with the Visual Resources and Special Communities Component of the LCP.

6. Conformance with the Mobilehome (MH) General Standards

A Mobilehome Park Permit is required pursuant to Section 6540(1) of the Zoning Regulations for any mobilehome park in any zoning district in the unincorporated County. The project meets the definition of a mobilehome park as defined by Section 6537(2), which includes not just manufactured housing, but all forms of mobile housing, specifically including recreational vehicles; however, to the extent the MH ordinance requires consistency with components of State law that only apply to manufactured housing, mobilehome parks and installation, or factory-built housing, those requirements will not be applied to the proposed RV park, which is governed by a separate State law, the Special Occupancy Parks Act. The project is intended to be a visitor-serving use that provides low cost lodging opportunities for people visiting the coasts. Per Policy 11.15(c)(1) of the LCP, a deed restriction will be required limiting individual stays to 28 consecutive days with a maximum of 90 days per year. Further discussion can be found in Sections A.2 and A.4 of this report.

7. Conformance with the Grading Regulations

The applicant has provided the following estimates of grading in cubic yards required to construct the project:

Project Grading Quantities in Cubic Yards (c.y.)			
	Cut	Fill	Grading Total
Lot	4,500 c.y.	4,575 c.y. Net Import: 75 c.y.*	9,075 c.y.
* Net import of fill means that the use of cubic yards of cut is not adequate to contribute the proposed and necessary fill; the net import amount is brought to the site from off-site sources.			

The purpose of the Grading Regulations is to promote the conservation of natural resources, including topography and vegetation, as well as to protect health and safety, which includes the reduction or elimination of erosion, siltation and flooding.

The construction of the RV park involves earthwork of 4,500 cubic yards of cut and 4,575 cubic yards of fill. A Grading Permit is required for projects that require a building permit and involve earthwork that exceeds 250 cubic yards (c/y). All application requirements of the Grading Regulations (including grading plans with engineer’s estimate of the quantity of

materials, an erosion and sediment control plan, dust control plan, cross sections detailing the grading to occur), have been submitted and reviewed by the County Department of Public Works and the County Geotechnical Section and deemed compliant with the applicable requirements.

a. Findings for Grading Permit

The following is a discussion of how the project complies with required findings per Section 9290:

1. That this project, as conditioned, will not have a significant adverse effect on the environment.

The project has been reviewed by Planning staff and the Department of Public Works, which found that the project can be completed without significant harm to the environment as conditioned. Staff reviewed the grading and erosion control plans – together with the County Geotechnical Section’s review of submitted geotechnical studies and drainage reports - and determined that the project, as proposed and conditioned, including grading, construction, and post-construction stormwater drainage, would adequately contain project drainage on-site, and would not adversely affect or increase erosion in the area. The implementation of the associated mitigation measures of the IS/MND together with the conditions of approval would ensure that the project can be completed without significant harm to the environment.

2. That this project, as conditioned, conforms to the criteria of the San Mateo County Grading Regulations and is consistent with the General Plan.

Planning staff and the Department of Public Works have reviewed the project and have determined its conformance to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 8605 and the San Mateo County General Plan.

Pursuant to the County Department of Public Works and Geotechnical Section’s review and conditional approval of the grading plans, the project complies with the Grading Regulations.

B. ENVIRONMENTAL REVIEW

An Initial Study and Mitigated Negative Declaration (IS/MND) was prepared for this project and circulated from September 18 through October 18, 2019. While initially released and circulated for a 30-day period, the County extended the review period for another six days to accommodate the California Coastal Commission's request for additional time for comments. As a result, the County extended the review period to October 24, 2019.

1. Summary of Analysis of the Main Environmental Factors: Staff has summarized its analysis of the main environmental factors discussed in the IS/MND, below.
 - a. Aesthetics: The Aesthetics section addresses potential impacts of the project to ocean views. Mitigation Measure 1 (Condition 20) was included to limit the amount of light spilling over to adjacent properties. The shower and laundry building will be slightly expanded relative to what is shown on the plans in Attachment C because it is required to have three (3) toilets, showers, and lavatories per building code. In response to these requirements, the applicant has submitted a conceptual set of revised plans for the building (Attachment K). The changes will not create further aesthetic impacts as the structure will still be one-story, retain the same location, and not impact ocean views as they will still be blocked by the adjacent Oceano Hotel. In addition, the enlarged structure will not increase the overall intensity or density of the use as it does not spur an increase in RV or tent spaces, only ensuring that those already proposed are properly served. Further discussion can be found in Section A.2 of this report.
 - b. Biological Resources: The Biological Resources section addresses the potential impacts of construction on sensitive species. In summary, an SWCA biologist conducted a reconnaissance-level field survey of the study area on October 17, 2017. The SWCA evaluation states that developed, agricultural, and disturbed/ruderal habitats do not typically provide suitable habitat for sensitive wildlife species. No jurisdictional wetlands, water features, or riparian corridors were observed within the project area. Although the project area lacks suitable natural habitat conditions for California red-legged frog and San Francisco garter snake, the project area could be used by these species for dispersal. However, due to the lack of emergent vegetation cover and development surrounding the project area, the potential for these species to occur within the project area is low. The project area does contain habitat for nesting migratory birds, including northern harrier (*Circus cyaneus*), a California Department of Fish and Wildlife (CDFW) species of special concern that is protected under the Migratory Bird Treaty Act and/or the California Fish and Game Code.

With the provided mitigation measures and conditions of approval, the impacts of construction and development would be less than significant.

- c. Geology and Soils: The Geology and Soils section mainly addresses the suitability of the land to support development and potential erosion that could occur during construction activities. With the provided mitigation measures, the impacts of construction and development would be less than significant. Further discussion can be found in Section A.7 of this report.
 - d. Hydrology and Water Quality: The Hydrology and Water Quality section addresses pre-and post-development stormwater flows. The project complies with the County's Drainage Policy requiring post-construction stormwater flows to be at, or below, pre-construction flow rates. In addition, due to the amount of new impervious surface proposed, the Department of Public Works required a Bay Area Hydrology Model (BAHM) analysis and associated stormwater detention to meet C3 requirements. These measures, in addition to requiring the detention and treatment of stormwater runoff onsite, also requires treatment or project drainage.
 - e. Transportation: Per the Screening Thresholds for Land Use Projects section of the "Technical Advisory on Evaluating Transportation Impacts in CEQA" document published by the Governor's Office of Planning and Research, the proposed project "may be assumed to cause a less-than significant transportation impact" because it generates or attracts fewer than 110 trips per day. With respect to compliance with the Department of Public Works' 2013 Traffic Impact Study Requirements, the project does not meet its 100-trip threshold for a significant adverse impact on traffic conditions in San Mateo County. Further discussion can be found in Section A.2 of this report.
 - f. Utilities and Service Systems: The Granada Community Services District has indicated that they have adequate capacity to serve the project's sanitary sewerage demands. In addition, the project would also have adequate water service connections from the Coastsides County Water District. Further discussion can be found in Section A.2 of this report.
2. Summary of Comments Received by Staff on the IS/MND: Comments were received from the California Department of Toxic Substances Control (DTSC), California Department of Transportation (Caltrans), California Coastal Commission (CCC), and Midcoast Community Council (MCC). Comments from individuals were also received, which aligned with comments received by the MCC and are addressed in the MCC section.

What follows is a summary of the comments received, each followed by staff response.

- a. California Department of Toxic Substances Control: Upon circulation of the IS/MND, the DTSC provided comments (email dated October 4, 2019; Attachment I), within which they cited issues and concerns summarized as follows:
- (1) Hazardous Materials: Minimal amounts of hazardous materials such as fuel and paint would be used during construction and should be acknowledged. Adequate Best Management Practices must be implemented to prevent spills or incorrect use of these hazardous materials. Relevant mitigation measures should be referenced or proposed.
 - (2) Past Land Uses: Past land uses must be discussed in that they could have resulted in hazardous materials releases within the project area that should be investigated prior to development for public health protection. Past land uses could indicate the need for collecting environmental samples and/or preparing a Phase 2 Environmental Site Assessment (ESA).
 - (3) Grading: Discuss whether on-site soil would be sampled for disposal or reuse and how an adequate fill source would be chosen.
 - (4) Cortese List Requirements: Ensure that the project was reviewed under the Cortese List requirements and evaluate how nearby contaminated sites, if any, may impact the project site.

Staff Response: Regarding the prevention of spills or incorrect use of hazardous materials, Mitigation Measures 2, 9, and 14 (Condition Nos. 21, 28, and 32) address the prevention of spills or incorrect use of hazardous materials. Mitigation Measure 14 (Condition No. 32) specifically requires the control of fuels and other hazardous materials.

Past land uses are discussed in Question 2.d of the IS/MND. The property has been used as a pumpkin patch for sale of pumpkins for annual holidays. It has also been used historically as a staging area for temporary events and as unpaved overflow parking for the adjacent commercial development.

All cut soils from the project would need to be disposed of in a class 3 landfill such as Ox-Mountain. They would not receive soil unless it is manifested properly for disposal. This would be done as soil is excavated, stockpiled for sampling, and then disposed of properly. All fill soils (except for small amounts of organic topsoil kept for landscaping purposes) would

consist of class 2 or class 3 subbase for road and driveway construction and drain-rock for the drainage systems. The fills are considered engineered fill and would not require testing.

During the preparation of the IS/MND, the project was reviewed against the Cortese List requirements by the Planning Section. The project site and those in the vicinity were not found to be on the EnviroStor, Geotracker, DTSC, or Water Board databases. In addition, the County Geotechnical Engineer reviewed the site against the contaminated soils criteria of the San Mateo Countywide Water Pollution Prevention Program's Construction Best Management Practices and found no evidence of possible contamination. Based on the previous land uses as discussed above, lack of contaminated sites within the immediate vicinity, and the lack of existing conditions that would indicate contaminated soils, it is unlikely that the project site has been subject to contamination by hazardous materials.

- b. California Department of Transportation (Caltrans): Upon circulation of the IS/MND, Caltrans provided comments (email dated October 15, 2019; Attachment H), regarding concerns about construction-related temporary access points along Cabrillo Highway, the addition or modification of utilities in Caltrans right-of-way, and impacts to traffic on Cabrillo Highway during construction.

Staff Response: No temporary construction access points are proposed along Cabrillo Highway. The temporary construction entrance would be off of Capistrano Road in the same location as the proposed permanent entrance into the RV park. Condition No. 82 requires a Transportation Management Plan to be submitted at the building permit stage for review and approval by Caltrans to address the temporary traffic impacts that may arise during construction.

- c. California Coastal Commission: The California Coastal Commission provided comments in a letter dated September 15, 2017 addressing the project submittal and, in an email, dated October 25, 2019 addressing the IS/MND which are summarized as follows:
 - (1) Land Use: CCC staff has noted that the proposed RV park must be evaluated against the CCR zoning regulations as an Other Compatible Use.
 - (2) Traffic: CCC staff recommends that the traffic impact analysis address potential conflicts with commercial vehicle traffic that fluctuates seasonally in and out of the harbor. They also recommend that the analysis discuss potential project impacts to public coastal access along Highway 1 during peak summer

periods and traffic issues that may arise pre-and post-construction, consistent with LCP Policy 2.52.

- (3) Commercial Recreation/Visitor Serving Facilities: As noted by CCC staff, the LCP encourages low-cost, public-serving recreational opportunities along the coast such as RV parks. Their staff is in favor of such uses as they benefit the visitors that may not be in a position to afford more costly lodging facilities such as luxury hotels located in coastal areas. They determined that the project meets the definitions of a visitor serving facility (LCP Policy 11.1) and commercial recreation facility (LCP Policy 11.2). They also note that the permit shall include a condition, per LCP Policy 11.15, limiting consecutive stays to 29 days and no more than 90 days annually. This condition has been added as Condition No. 19 in Attachment A.
- (4) Visual Resources: CCC staff notes that the LCP requires the protection of scenic and visual resources and that the development must minimize impacts on ocean views from public viewpoints. They also state that the project must be reviewed against the applicable design guidelines and regulations.
- (5) Prime Soils: Because the entire project site contains prime soils that have a Class III rating (non-irrigated), CCC staff recommends that the project should be evaluated against LCP Policies 1.3 and 5.22.
- (6) Biological Resources: CCC staff recommends that the drainage system for the project should not affect the character of the swale at the northeast edge of the project area because the swale could provide marginal, suitable habitat for sensitive wildlife species such as the California red-legged frog and the San Francisco garter snake which may use the drainage for dispersal.

Staff Response: Regarding land use, further discussion can be found in Section A.4 of this report. Traffic is addressed above in this section and in Section A.2. Commercial recreation/visitor serving facilities, visual resources, and prime soils are discussed in Section A.2.

In terms of biological resources, the project does not propose any changes to the swale and mitigation measures are provided to minimize the impacts of construction and development to a less than significant level. Further discussion can be found above in this section and in the IS/MND.

- d. Midcoast Community Council: Upon circulation of the IS/MND, the MCC provided comments (memo dated October 9, 2019; Attachment D), within which it cited concerns from the community. The comments regarding aesthetics and traffic largely echo those received by Planning staff from individuals via email. The MCC's concerns related to environmental factors of the IS/MND are summarized as follows:
- (1) Aesthetics: Majority of the comments from the public raised concerns about the potential visual impacts of this project according to the MCC. Many people are concerned about the blockage of ocean views and consider the sight of an RV park unappealing overall for residents and visitors.
 - (2) Traffic: Project traffic impacts are a major concern of the MCC. The MCC asserts that the Midcoast has significant traffic delays on the weekends and that trailers and RVs, by their nature, tend to impact traffic more than most vehicles, because they are larger and slower.

Staff Response: The aesthetics of the project have been evaluated against the applicable Design Review regulations as required by the Visual Resources Component of the LCP and the CCR Zoning District regulations. Further discussion can be found above, in Sections A.1 and A.2 of this report and in the IS/MND. The traffic impact analysis found that the proposed project would not have a significant impact on traffic in the area. Further discussion can be found above, Section A.2 of this report, and the IS/MND.

C. MIDCOAST COMMUNITY COUNCIL

After the comment period for the IS/MND, the Midcoast Community Council provided comments on the project in a letter dated October 23, 2019 in which the MCC recommends denial of the project unless the RV park is reduced from 50 to 25 spaces. Their specific concerns are regarding aesthetics, traffic, length of guest stays, and pollution which are addressed below:

Aesthetics: In addition to their comments on the IS/MND, the MCC requests a height-restricted Clear View Easement on a portion of the property that would limit the height of vegetation to 3 feet at maturity to minimize impacts to ocean views. Proposed landscaping is limited to groundcover and low-growing shrubs at the corner of Capistrano Road and Cabrillo Highway and along the entire stretch of Capistrano Road adjacent to the property. In addition, no RV parking spaces are proposed along the Capistrano Road side of the property to further minimize view blockage. Further discussion can be found in Section A.2 of this report and the IS/MND.

Traffic: In addition to their comments on the IS/MND, the MCC also expressed concern regarding the cumulative effect on traffic that would be incurred with the proposed project and the Big Wave North Parcel Alternative Project (Big Wave)¹ on Airport Street (PLN 2013-00451). The provided traffic impact analysis includes a scenario that reviews the proposed development in conjunction with construction of Big Wave and a motel expansion at 11 Avenue Alhambra. In this and all other reviewed scenarios, the traffic analysis found that the proposed project would not have a significant impact on traffic in the area. Further discussion can be in Section A.2 of this report and the IS/MND.

Length of Guest Stay Enforcement: They also indicate that the applicant's 28 day stay limit will be difficult to enforce, claiming that the developer has a history of allowing stays longer than 28 days at the Pillar Point RV park and that part of the park may become permanent housing instead of 100% visitor serving. Per LCP Policy 11.15(c)(1), Condition 19 has been added limiting consecutive stays to 28 days and no more than 90 days annually and ensuring that the use will remain public and visitor serving. In addition, the County's Code Compliance Section may be employed for enforcement if this requirement is not met in the future. Further discussion can be found in Section A.2 of this report.

Climate/Pollution: The MCC has concerns regarding the amount of greenhouse gases that may be generated by the RVs, both through travel and the use of generators by RV visitors. As noted in Section A.2 of this report and the IS/MND, the Screening Thresholds for Land Use Projects section of the Technical Advisory on Evaluating Transportation Impacts in CEQA document published by the Governor's Office of Planning and Research, the proposed project "may be assumed to cause a less-than significant transportation impact" because it generates or attracts fewer than 110 trips per day which indicates that there will be a minimal impact on air pollutants and greenhouse gases (GHG). Additionally, the proposed project would have electrical hookups, minimizing the need for generators operated by RV visitors. Discussion regarding stormwater runoff and water quality can be found in Sections A.4 and B of this report.

There is also concern that the impervious surface proposed would increase polluted stormwater runoff and affect the habitat of native species, including nesting migratory birds. The project complies with County drainage and stormwater treatment requirements. See the Hydrology and Water Quality Section of Section B for further discussion.

D. REVIEWING AGENCIES

¹ The Big Wave North Parcel Alternative Project includes five (5) buildings containing approximately 155,500 sq. ft. of industrial/office/storage uses. The Office Park buildings will be occupied by private firms with their own workers. It also includes a Wellness Center that will consist of 70,500 sq. ft. of affordable housing and associated uses with up to 57 bedrooms for a maximum of 50 developmentally disabled adults and their aides.

Building Inspection Section
Geotechnical Section
Department of Public Works
Environmental Health Services
Coastside Fire Protection District
Coastside County Water District
Granada Community Services District
California Coastal Commission
California Department of Transportation
California Department of Toxic Substances Control
Sonoma State
Midcoast Community Council
California Coastal Commission

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. Midcoast Community Council IS/MND Comment Letter, dated October 9, 2019
- E. Midcoast Community Council Letter, dated October 23, 2019
- F. California Coastal Commission Comments, dated September 15, 2017
- G. California Coastal Commission IS/MND Comments, dated October 25, 2019
- H. California Department of Transportation IS/MND Comments, dated October 15, 2019
- I. California Department of Toxic Substances Control IS/MND Comments, dated October 4, 2019
- J. Photos from Cabrillo Highway
- K. Revised Conceptual Shower/Laundry Building Site Plan and Floor Plan
- L. Initial Study/Mitigated Negative Declaration and Attachments:
 - Project Plans/Proposed RV Park Rules
 - SWCA Biological Resources Evaluation (dated November 2017)
 - California Historical Resources Information System Review Letter (dated April 10, 2019)
 - Holman & Associates Archeological Resources Reconnaissance Report for the Harbor Village RV Park Project (dated June 2019)
 - Sigma Prime Geotechnical Study (dated May 17, 2018)
 - Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated March 2018)
 - Hexagon Transportation Consultants, Inc, 100 Capistrano Road Harbor Village RV Park Draft Traffic Impact Analysis (dated January 18, 2019)
 - DKS Associates Draft Peer Review of Princeton Harbor RV Park TIA (dated November 30, 2018)
 - Project EECAP Development Checklist

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2017-00320 Hearing Date: December 11, 2019

Prepared By: Ruemel Panglao
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the Planning Commission does hereby find that the Initial Study/Mitigated Negative Declaration reflects the independent judgment of San Mateo County.
2. That the Initial Study/Mitigated Negative Declaration is complete, correct, and adequate and prepared in accordance with the California Environmental Quality Act (CEQA) and applicable State and County Guidelines.
3. That on the basis of the Initial Study/Mitigated Negative Declaration, comments received hereto, and testimony presented and considered at the public hearing, there is no substantial evidence that the project will have a significant effect on the environment.
4. That the Mitigation Measures (numbered 1 through 17) in the Initial Study/Mitigated Negative Declaration and agreed to by the owner and placed as conditions on the project address the Mitigation Monitoring and Reporting Plan requirements of California Public Resources Code Section 21081.6.1. The Mitigation Measures have been included as conditions into this attachment. This attachment shall serve as the Mitigation Monitoring and Reporting Plan.

For the Coastal Development Permit, Find:

5. That the project, as described in the application and accompanying materials required by Zoning Regulations Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms to the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program (LCP), specifically in regard to the Locating and Planning New Development Component, Public Works Component, Visual Resources Component (including the Community Design Manual Standards), Shoreline Access, and Recreation/Visitor-Serving Facilities Component of the LCP. Furthermore, the proposed project is visually compatible

with the mix of commercial recreation development along Capistrano Road, and the project is a visitor-serving and commercial recreation facility that would serve the needs of Coastside visitors and residents in the area.

6. That the project conforms to the specific findings required by policies of the San Mateo County Local Coastal Program. Any applicable findings are discussed in Section A.2 of the staff report.

For the Use Permit, Find:

7. That the design and operation of the proposed use will further the purpose of the CCR Zoning District as stated in Section 6265, as the project consists of a 50-space RV park intended to serve coastside visitors and locals. The proposed project is compatible with the surrounding mix of commercial/visitor-serving development in the Princeton area, which includes retail shops, lodging, and restaurants. The project would provide on-site parking. The project site is within walking distance to other commercial visitor-serving businesses, primarily along Capistrano Road, and is within walking distance to shoreline access points to Princeton Beach. Overall, the project would not impact coastal resources or public ocean views.
8. That the design and operation of the proposed use will conform with the development standards stated in Section 6269 (CCR Zoning District) since the project, as proposed and conditioned, conforms to the applicable development standards of the CCR Zoning District Regulations with regard to setbacks, height, lot coverage, protection of coastal resources, and landscaping. The applicant is seeking a use permit to classify an RV park under Other Compatible Uses as allowed by the CCR regulations.
9. That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood since there is no evidence to suggest that the proposed project, as conditioned and approved, will have any detrimental effect upon coastal resources or result in adverse impacts to properties or improvements in the area. The project is compatible with the type and appearance of other existing commercial/visitor-serving development in the surrounding area, including two other RV parks in close proximity at Pillar Point Harbor and Pillar Point RV Park. As proposed and conditioned, the facility would be open to the public year-round with a limit on stays consistent with the LCP (28 days consecutively and 90 days annually), which is compatible with the operation of other lodging establishments in the surrounding area. Furthermore, the project is not considered a destination attraction that would cause a significant increase or change in pedestrian or vehicle traffic patterns as the use is intended to provide supportive lodging service to people that visit the Princeton area for other primary reasons.

For the Design Review Permit, Find:

10. That the project complies with the design guidelines and criteria of the Community Design Manual and the LCP's Visual Resources Component. The proposed materials and colors for the one-story laundry/shower facility, such horizontal fiber cement siding in Kelly Moore's Lover's Hideaway (dark beige), has a natural appearance. The structure uses gable roofs, including a non-reflective, brown composition shingle as the primary roof material. Paved areas integrate into the site, relate to the proposed structure, and would be landscaped to reduce visual impact from residential areas and from roadways. Public views from public roads and along scenic corridors to the ocean are protected. The proposed signs would include panels located on an existing multi-tenant monument sign and tower sign that consolidate signage for the Harbor Village property.

For the Mobilehome Park Permit, Find:

11. That the proposed project meets all of the applicable regulations of Chapter 26 of the Zoning Regulations. The project meets the definition of a mobilehome park as defined by Section 6537(2), which includes not just manufactured housing, but all forms of mobile housing, specifically including recreational vehicles; however, to the extent the MH ordinance requires consistency with components of State law that only apply to manufactured housing, mobilehome parks and installation, or factory-built housing, those requirements will not be applied to the proposed RV park, which is governed by a separate State law, the Special Occupancy Parks Act. The project is intended to be a commercial recreation and visitor serving use that provides low cost lodging opportunities for people visiting the coastside.

For the Grading Permit, Find:

12. That this project, as conditioned, will not have a significant adverse effect on the environment. The project has been reviewed by the Planning Section, who prepared an Initial Study/Mitigated Negative Declaration and found that the project can be completed without significant harm to the environment as conditioned.
13. That this project, as conditioned, conforms to the criteria of the San Mateo County Grading Ordinance and is consistent with the General Plan. Planning staff and the Department of Public Works have reviewed the project and have determined its conformance to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 8605 and the San Mateo County General Plan.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents and plans described in this report and approved by the Planning Commission on December 11, 2019. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of, and in substantial conformance with, this approval.
2. The Coastal Development Permit, Use Permit, Mobilehome Park Permit, and Grading Permit approvals shall be valid for five (5) years from the date of final approval in which time a building permit shall be issued and a completed building inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. The Mobilehome Park Permit must be renewed every 5 years thereafter. Any extension to these permits shall require submittal of a request for permit extension and payment of applicable extension fees, no less than sixty (60) days prior to expiration. An extension of these approvals will be considered upon written request and payment of the applicable fees sixty (60) days prior to the expiration of the approvals.
3. The applicant shall submit detailed drawings of the two roofed trash enclosure structures to the project planner prior to Planning approval of the building permit. The structure shall match the design and materials of the laundry/shower building.
4. Any change in use or intensity not already approved shall require an amendment to the use permit. Amendment to this use permit requires an application for amendment, payment of applicable fees, and consideration at a public hearing.
5. Signage for the use shall be limited to that approved under this permit. Any additional signage beyond the existing monument and tower signs shall require separate approval by the Planning and Building Department prior to installation.
6. Any new utilities shall be located underground from the nearest existing pole. No new poles are permitted to be installed.
7. The exterior colors and materials are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
8. All approved landscaping shall be maintained in a healthy condition for the life of the use. Any dead or dying landscape shall be removed and replaced with the same or similar species.

9. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELo) and provide the required information and forms.
10. The applicant shall provide “finished floor elevation verification” to certify that the laundry/shower building is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
11. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including, but not limited to, the following:

- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earth-moving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering the site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.

- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
12. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
 13. No site disturbance shall occur, including any tree/vegetation removal or grading, until a building permit has been issued.
 14. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Capistrano Road and Pillar Point Harbor Boulevard. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Capistrano Road and Pillar Point Harbor Boulevard. There shall be no storage of construction vehicles in the public right-of-way.
 15. At the building permit application stage, the applicant shall submit a tree protection plan, including the following:
 - a. Identify, establish, and maintain tree protection zones throughout the entire duration of the project.
 - b. Isolate tree protection zones using 5-foot tall, orange plastic fencing supported by poles pounded into the ground, located at the driplines as described in the arborist's report.
 - c. Maintain tree protection zones free of equipment and materials storage; contractors shall not clean any tools, forms, or equipment within these areas.

- d. If any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting as required in the arborist's report. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a saw or topplers. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within five (5) business days from site inspection following root cutting.
 - e. Normal irrigation shall be maintained, but oaks shall not need summer irrigation, unless the arborist's report directs specific watering measures to protect trees.
 - f. Street tree trunks and other trees not protected by dripline fencing shall be wrapped with straw wattles, orange fence and 2 x 4 boards in concentric layers to a height of 8 feet.
 - g. Prior to Issuance of a building permit, the Planning and Building Department shall complete a pre-construction site inspection, as necessary to verify that all required tree protection and erosion control measures are in place.
16. The applicant shall prepare a Stormwater Management Plan (SWMP) that includes, at a minimum, exhibit(s) showing drainage areas and location of Low Impact Development (LID) treatment measures; project watershed; total project site area and total area of land disturbed; total new and/or replaced impervious area; treatment measures and hydraulic sizing calculations; a listing of source control and site design measures to be implemented at the site; hydromodification management measures and calculations, if applicable; Natural Resources Conservation Service (NRCS) soil type; saturated hydraulic conductivity rate(s) at relevant locations or hydrologic soil type (A, B, C or D) and source of information; elevation of high seasonal groundwater table; a brief summary of how the project is complying with Provision C.3 of the MRP; and detailed Maintenance Plan(s) for each site design, source control and treatment measure requiring maintenance. An Operation and Maintenance Agreement must be recorded prior to Planning final approval of the building permit.
17. The project shall comply with all requirements of the Municipal Regional Stormwater NPDES Permit Provision C.3. Please refer to the San Mateo Countywide Water Pollution Prevention Program's (SMCWPPP) C.3 Stormwater Technical Guidance Manual for assistance in implementing LID measures at the site.
18. The property owner(s) shall coordinate with the project planner to record the Notice of Determination and pay an environmental filing fee of \$2,354.75 (or current fee), as required under Fish and Game Code Section 711.4(d), plus a \$50 recording fee to the San Mateo County within four (4) working days of the final approval date of this project.

19. The Coastal Development Permit shall not be in effect until a deed restriction is recorded by the owner of the land that specifies the following:
 - a. The development is a visitor-serving use exclusively available to the general public and that visitor and recreational vehicle length of stays are limited to no more than 28 consecutive days, and no more than 90 days per year. No recreational vehicles, trailers, or tents shall be allowed to remain on the site in excess of the length of stay limits. The deed restriction shall be recorded by the County Recorder to run with the land.
 - b. Conversion of any portion of the visitor-serving or commercial recreation facilities from development allowed under subparagraph (1) above, to a non-public, private, or member-only use, or the implementation of any program to allow extended or exclusive use or occupancy of such facilities by an individual or limited group or segment of the public, shall require an amendment to the applicable permit, and shall require a reduction in project density to the amount prescribed by LCP Policy 1.8 for uses which are not visitor serving.

The following conditions of approval impose the mitigation measure identified in the IS/MND, with minor changes to Mitigation Measures 1 shown in underlines. The minor changes would not lessen the effectiveness of the mitigation measure.

20. **Mitigation Measure 1:** All exterior lights shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area while meeting building code requirements. Any light spilling over onto adjacent properties caused by lighting required by building code shall be limited to the minimum lighting intensity and fixture amount required. A photometric and lighting plan shall be reviewed by the Planning Section during the building permit process to verify compliance with this condition. Prior to the final approval of the building permit, lighting shall be inspected and compliance with this requirement shall be verified.
21. **Mitigation Measure 2:** The applicant shall implement dust control measures, as listed below. Measures shall be included on plans submitted for the Building Permit and encroachment permit applications. The measures shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The measures shall include the following
 - a. Water all active construction areas at least twice daily.
 - b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.

- c. Cover all trucks hauling soil, sand, and other loose materials, or require all trucks to maintain at least 2 feet of freeboard.
- d. Apply water three times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at the construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- e. Sweep daily (preferably with water sweepers) all paved access roads, parking, and staging areas at the construction sites.
- f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- g. Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- h. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour (mph).
- i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- j. Replant vegetation in disturbed areas as quickly as possible.

22. **Mitigation Measure 3:** The applicant shall submit an Air Quality Best Management Practices Plan to the Planning and Building Department prior to the issuance of any grading permit “hard card” or building permit that, at a minimum, includes the “Basic Construction Mitigation Measures” as listed in Table 8-1 of the BAAQMD California Environmental Quality Act (CEQA) Guidelines (May 2011). The following Bay Area Air Quality Management District Best Management Practices for mitigating construction-related criteria air pollutants and precursors shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day.

- d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour(mph).
 - e. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
 - f. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - g. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
 - h. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications.
 - i. Minimize the idling time of diesel-powered construction equipment to two minutes.
 - j. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
23. **Mitigation Measure 4:** Pre-Construction Nesting Bird Surveys. Prior to any Project construction-related activities (such as tree removal, grubbing, grading or other land disturbing activities), the Project proponent shall take the following steps to avoid direct losses of active nests, eggs, and nestlings and indirect impacts to avian breeding success:

If construction-related activities occur only during the non-breeding season, between August 31 and February 1, no nest surveys will be required.

During the breeding bird season (February 1 through August 31), a qualified biologist shall survey areas intended for construction-related activities in the Project Area for nesting raptors and passerine birds not more than 14 days prior to any ground-disturbing activity or vegetation removal. Surveys shall include all potential habitats within 250 feet of activities for raptors, and 50 feet of activities for passerines. If results are positive for nesting birds, a qualified biologist shall advise as to whether avoidance procedures are necessary, subject to review and approval by the Community Development Director. These may include

implementation of buffer areas (minimum 50-foot buffer for passerines and minimum 250-foot buffer for most raptors) or seasonal avoidance. Once established, buffer areas around active nests may be reduced on a case-by-case basis based on guidance from a qualified biologist. The biologist shall consider factors such as topography, land use, Project activities, visual screening or line-of-site to active nest, and background noise levels when establishing a reduced nest buffer. The biologist shall advise whether full-time biological monitoring should be required during all activities that occur within reduced nest buffers in order to monitor the active nest(s) for signs of disturbance or “take.”

24. **Mitigation Measure 5:** Environmental Training. All crewmembers shall attend an Environmental Awareness Training presented by a qualified biologist. The training shall include a description of the special-status species that may occur in the region, the project Avoidance and Minimization Measures, Mitigation Measures, the limits of the project work areas, applicable laws and regulations, and penalties for non-compliance. Upon completion of training, crewmembers shall sign a training form indicating they attended the program and understood the measures. Completed training form(s) shall be provided to the Project Planner before the start of project activities.
25. **Mitigation Measure 6:** Ground Disturbing Construction Activities. Ground disturbing construction-related activities shall occur during the dry season (June 1 to October 15) to facilitate avoidance of California red-legged frog. Regardless of the season, no construction shall occur within 24 hours following a significant rain event defined as greater than 1/4 inches of precipitation in a 24-hour period. Following a significant rain event and the 24-hour drying-out period, a qualified biologist shall conduct a preconstruction survey for California red-legged frog prior to the restart of any Project activities.
26. **Mitigation Measure 7:** Wildlife Encounters. If any wildlife is encountered during Project activities, said encounter shall be reported to a qualified biologist and wildlife shall be allowed to leave the work area unharmed. Animals shall be allowed to leave the work area of their own accord and without harassment. Animals shall not be picked up or moved in any way.
27. **Mitigation Measure 8:** Vegetation Disturbance. Disturbance to vegetation shall be kept to the minimum necessary to complete the Project activities. Prior to the Current Planning Section’s approval of the building permit for the project, the applicant shall submit a Biological Protection Plan, subject to Community Development Director review and approval, showing areas to remain undisturbed by construction-related activities and protected with recommended measures (such as temporary fencing with the type to be specified by a qualified biologist). To minimize impacts to vegetation, a qualified biologist shall work with the contractor to designate work areas (including all staging areas) and designate areas to remain undisturbed and protected.

28. **Mitigation Measure 9:** Vehicle Fueling and Maintenance. All fueling, maintenance of vehicles and other equipment, and staging areas should occur at least 50 feet from the drainage swale on the northeastern edge of the project area. The edge of the 50 feet buffer zone shall be marked using visible markers by a biologist no sooner than 30 days prior to the start of construction. Equipment operators and fueling crews shall ensure that contamination of the swale does not occur during such operations by restricting all activities to outside of the buffer zone. Prior to the start of construction-related activities, a plan to allow for prompt and effective response to any accidental spills shall be submitted and subject to review and approval by the Community Development Director. All workers should be informed of the importance of preventing spills, and of the appropriate measures to take should a spill occur.

29. **Mitigation Measure 10:** Erosion and Sediment Control BMPs. Prior to the Current Planning Section's approval of a building permit, the applicant shall revise and submit the Erosion and Sediment Control Plan, subject to review and approval by the project planner. The plan shall have been reviewed by a qualified biologist prior to submittal to the County. The plan shall include measures to prevent runoff to the drainage swale on the northeastern edge of the project area and demonstrate compliance with other erosion control requirements and mitigation measures. This shall include the installation of silt fences or straw wattles between work areas and any water sources such as the drainage swale, and around any spoil piles (e.g., loose asphalt, dirt, debris, construction-related materials) that could potentially discharge sediment into habitat areas. If straw wattles are used, they shall be made of biodegradable fabric (e.g., burlap) and free of monofilament netting.

30. **Mitigation Measure 11:** In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director, subject to review and approval, a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

31. **Mitigation Measure 12:** The applicants and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately, and the County coroner shall be notified

immediately. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

32. **Mitigation Measure 14:** At the time of building permit and encroachment permit application, the applicant shall revise as necessary and submit for review and approval the Erosion and Sediment Control Plan such that it shows how the transport and discharge of soil and pollutants from and within the project site would be minimized. The plans shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plans shall include measures that limit the application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:
- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
 - b. Minimize the area of bare soil exposed at one time (phased grading).
 - c. Clear only areas essential for construction.
 - d. Within five (5) days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two (2) weeks of seeding/planting.
 - e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and to control dust.
 - f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
 - g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet, or to the extent feasible, from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
 - h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.

- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
 - j. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 feet of fence. Silt fences shall be inspected regularly, and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
 - k. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
 - l. No erosion or sediment control measures will be placed in vegetated areas.
 - m. Environmentally-sensitive areas shall be delineated and protected to prevent construction impacts per Mitigation Measure 10.
 - n. Control of fuels and other hazardous materials, spills, and litter during construction.
 - o. Preserve existing vegetation whenever feasible.
33. **Mitigation Measure 15:** Should any traditionally or culturally affiliated Native American tribe respond to the County's issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation of the project, if the project has not yet been implemented.
34. **Mitigation Measure 16:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.
35. **Mitigation Measure 17:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

Grading Permit

36. Unless approved, in writing, by the Community Development Director, no grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion. The applicant shall submit a letter to the Current Planning Section stating the date when grading will begin.
37. No grading activities shall commence until the property owner has been issued a grading permit (issued as the "hard card" with all necessary information filled out and signatures obtained) by the Current Planning Section.
38. Prior to any land disturbance and throughout the grading operation, the property owner shall implement the erosion control plan, as prepared and signed by the engineer of record and approved by the decision maker. Revisions to the approved erosion control plan shall be prepared and signed by the engineer and submitted to the Community Development Director for review and approval.
39. Prior to issuance of the grading permit "hard card," the property owner shall submit a schedule of all grading operations to the Current Planning Section, subject to review and approval by the Current Planning Section. The submitted schedule shall include a schedule for winterizing the site. If the schedule of grading operations calls for the grading to be completed in one grading season, then the winterizing plan shall be considered a contingent plan to be implemented if work falls behind schedule. All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.
40. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
41. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within 30 days of the completion of grading at the project site: (a) The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval/mitigation measures, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer, and (b) The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and the Current Planning Section.

42. As the project involves over 1-acre of land disturbance, the property owner shall file a Notice of Intent (NOI) with the State Water Resources Board to obtain coverage under the State General Construction Activity National Pollutant Discharge Elimination System (NPDES) Permit. A copy of the project's NOI, WDID Number, and Stormwater Pollution Prevention Plan (SWPPP) shall be submitted to the Current Planning Section and the Building Inspection Section, prior to the issuance of the grading permit "hard card."

Building Inspection Section

43. On sheet T1, please include Title 25, Chapter 2.2 as an applicable code under general notes.
44. A "permit to operate" a Special Occupancy Park shall be obtained from the County of San Mateo Environmental Health Services upon building permit issuance.
45. The minimum average foot-candles of lighting along the full length of all roadways and walkways within the RV park shall be 0.2. It appears that the average foot-candles shown on sheet E1 is over the RV park area not roadway and walkway length. As such, it appears that additional park lighting will be required.
46. A minimum of 5-foot candles of lighting shall be shown at the exterior entrances of the toilet/shower/laundry building.
47. A minimum of 10-foot candles of lighting shall be shown for the interior of toilet and shower buildings and laundry buildings.
48. Based on 50 recreational vehicle spaces and seven (7) tent spaces, a minimum of three (3) toilets, showers and lavatories shall be provided for each gender.
49. The RV park and associated single story laundry/restroom facility shall meet all applicable accessibility requirements of the current California Building Code.

Geotechnical Section

50. **Mitigation Measure 13:** The design of the proposed development (upon submittal of the Building Permit) on the subject parcel shall generally follow the recommendations cited in the Geotechnical Study prepared by Sigma Prime Geosciences, Inc. and its subsequent updates regarding seismic criteria, grading, slab-on grade construction, and surface drainage. Any such changes to the recommendations by the project geotechnical engineer cited in this report and subsequent updates shall be submitted for review and approval by the County's Geotechnical Engineer.

Drainage Section

51. Prior to the issuance of the Building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Drainage Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Drainage Section for review and approval.

Department of Public Works

52. Prior to the issuance of the building permit, the applicant shall demonstrate that the existing driveway onto Capistrano Road has sufficient clearance to accommodate the largest size RV as allowed in the RV park, so that vehicles will not block access along Capistrano Road.
53. Should the access shown on the plans go through neighboring properties, the applicant shall provide documentation for "ingress and egress" easements, prior to issuance of the building permit, as required.
54. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
55. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

Environmental Health Services

56. Applicant should to obtain approval from the State Department of Housing & Community, RV/Camps Section. Once approved by the State, an annual Environmental Health permit/fees from the Housing Program will be required when the RV park is in operation.

Coastside Fire Protection District (District)

57. Fire Department access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first-story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 ft. wide, asphalt, and able to support a fire apparatus weighing 75,000 pounds. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 ft. on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Road Radius shall not be less than 28 feet from center line.
58. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. Buildings shall have illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Commercial address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their back-ground and shall be no less than 6 inches in height and have a minimum 3/4-inch stroke. Remote signage shall be a 6" x 18" green reflective metal sign.
59. Contact the Fire Marshal's Office to schedule a Final Inspection prior to occupancy and Final Inspection by a Building Inspector. Allow for a minimum of 72 hours' notice to the Fire Department at 650/ 726-5213.
60. A fire flow of 1500 gpm for 2 hours with a 20-psi residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on site.
61. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures, or to the property line, if the property line is less than 30 feet from any structure.
62. All roof assemblies shall have a minimum CLASS-B fire resistive rating and be installed in accordance with the manufacturer's specifications and current California Building and Residential Codes.

63. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup.
64. An approved Automatic Fire System meeting the requirements of NFPA-13 along with an approved NFPA 72 Fire Alarm shall be required for your project. Plans shall be submitted to the San Mateo County Building Department for review and approval by the San Mateo County Fire Department.
65. Street signs shall be posted at each intersection conforming to the standards of the Department of Public Works.

Coastside County Water District

66. Backflow protection is required on all water services.
67. Fire service should be provided from the 12-inch-high pressure water main located on Capistrano Road.
68. Domestic service and irrigation service should be provided from the 10-inch water main on Capistrano Road.
69. Metering will be determined after the water demand and water capacity has been determined.
70. Point of connection(s) locations will be determined once the District clearly understands the location of all other utilities. The District requires adequate separation from sewer, electrical and gas services.
71. Water demand/end uses need to be clearly shown on the drawings. Additional water demand worksheets are required by Coastside County Water District. Those worksheets will be provided when the District receives actual construction plans and fire system plans for building permit approvals.
72. Purchased water capacity will be determined once the District reviews and determines water demand.
73. Type of water capacity (priority vs. non-priority) must comply with the county's LCP.
74. Provide adequate clearance around existing public utility easements/water mains. It appears that tent camping, proposed landscaping and fencing along Capistrano Road may encroach upon the District's easement for the 12-inch-high pressure main. The 12-inch high pressure main is dedicated to fire services and is located on Capistrano Road. Please show location of the 12-inch and 10-inch water mains on the civil plans along with the public utility easement. Trees shall not be

planted within the public utility easement for water mains. Signage should not be placed in public utility easement for water mains.

75. Coastside County Water District needs additional information to determine the amount of capacity required to serve the proposed RV Park. Detailed landscape and irrigation plans (pipes and valves) must be submitted to determine the size of the dedicated irrigation service. Trees shall not be planted in public utility easements for water mains.
76. The project is required to comply with Coastside County Water District's regulations. District staff performs inspections to verify compliance with all Coastside County Water District regulations during and after construction. Approved backflow protection is required on domestic, irrigation and fire services.
77. If fire sprinklers are required for any of the structures, please note that Coastside County Water District does not allow passive purge systems to be installed. Fire protection services are authorized for the sole purpose of fire protection and there shall be no cross connections. The District cannot complete their review of the proposed project until the Coastside Fire Protection District has approved the fire system requirements, including fire hydrants.

Granada Community Services District

78. A sewer permit shall be required. A set of approved plans showing the on-site and off-site sewers with the application.

Caltrans

79. Any work or traffic control that encroaches onto the state ROW requires an encroachment permit that is issued by the Department. To apply, a completed encroachment permit application, environmental documentation, and five (5) sets of plans clearly indicating state ROW must be submitted to: Office of Permits, California DOT, District 4, P.O. Box 23660, Oakland, CA 94623-0660. Traffic-related mitigation measures should be incorporated into the construction plans during the encroachment permit process. See the website link below for more information. <http://www.dot.ca.gov/hq/traffops/developserv/permits/>.
80. Project work that requires movement of oversized or excessive load vehicles on state roadways requires a transportation permit that is issued by Caltrans. To apply, visit: <https://dot.ca.gov/programs/traffic-operations/transportation-permits>. Prior to construction, coordination is required with Caltrans to develop a Transportation Management Plan (TMP) to reduce construction traffic impacts to the state transportation network. A copy of the approved TMP shall be submitted to the Planning Section prior to issuance of the building permit.

81. If utilities within Caltrans ROW will be impacted by the project, provide site plans that show the location of existing and/or proposed utilities. These modifications shall require a Caltrans-issued encroachment permit.

California Department of Housing and Community Development

82. All permits and licenses required by the California Department of Housing and Community Development for this project shall be forwarded to the Planning Section prior to building permit final.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

COUNTY OF SAN MATEO, PLANNING AND BUILDING DEPARTMENT

**NOTICE OF INTENT TO ADOPT
MITIGATED NEGATIVE DECLARATION**

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: Harbor Village Recreational Vehicle (RV) Park, when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN 2017-00320

OWNER: Point Pillar Project Developer, PO Box 158, Half Moon Bay, CA 94019

APPLICANT: Ron Stefanick, Pillar Point Project Developers, PO Box 158, Half Moon Bay, CA 94019

ASSESSOR'S PARCEL NO.: 047-081-430

LOCATION: 240 Capistrano Road, Princeton

PROJECT DESCRIPTION

The applicant requests Coastal Development Permit (CDP), Use Permit, Mobile Home Permit, and Grading Permit for the construction of a new 50 space RV park, plus a 869 sq. ft. shower and laundry facility located on a legal 3.356-acre parcel (legality confirmed via Lot Line Adjustment: LLA94-0014). The construction of the RV park involves 4,500 cubic yards of cut and 4,575 cubic yards of fill. No trees are proposed for removal. The project is appealable to the California Coastal Commission.

FINDINGS AND BASIS FOR A NEGATIVE DECLARATION

The Current Planning Section has reviewed the initial study for the project and, based upon substantial evidence in the record, finds that:

1. The project will not adversely affect water or air quality or increase noise levels substantially.
2. The project will not have adverse impacts on the flora or fauna of the area.
3. The project will not degrade the aesthetic quality of the area.
4. The project will not have adverse impacts on traffic or land use.
5. In addition, the project will not:
 - a. Create impacts which have the potential to degrade the quality of the environment.

- b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.
- c. Create impacts for a project which are individually limited, but cumulatively considerable.
- d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is insignificant.

MITIGATION MEASURES included in the project to avoid potentially significant effects:

Mitigation Measure 1: All exterior lights shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. A photometric plan shall be reviewed by the Planning Section during the building permit process to verify compliance with this condition. Prior to the final approval of the building permit, lighting shall be inspected and compliance with this requirement shall be verified.

Mitigation Measure 2: The applicant shall implement dust control measures, as listed below. Measures shall be included on plans submitted for the Building Permit and encroachment permit applications. The measures shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The measures shall include the following:

- a. Water all active construction areas at least twice daily.
- b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
- c. Cover all trucks hauling soil, sand, and other loose materials, or require all trucks to maintain at least 2 feet of freeboard.
- d. Apply water three times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at the construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- e. Sweep daily (preferably with water sweepers) all paved access roads, parking, and staging areas at the construction sites.
- f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- g. Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- h. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour (mph).

- i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- j. Replant vegetation in disturbed areas as quickly as possible.

Mitigation Measure 3: The applicant shall submit an Air Quality Best Management Practices Plan to the Planning and Building Department prior to the issuance of any grading permit “hard card” or building permit that, at a minimum, includes the “Basic Construction Mitigation Measures” as listed in Table 8-1 of the BAAQMD California Environmental Quality Act (CEQA) Guidelines (May 2011). The following Bay Area Air Quality Management District Best Management Practices for mitigating construction-related criteria air pollutants and precursors shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day.
- d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour(mph).
- e. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
- f. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- g. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
- h. All construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications.
- i. Minimize the idling time of diesel-powered construction equipment to two minutes.
- j. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District’s phone number shall also be visible to ensure compliance with applicable regulations.

Mitigation Measure 4: Pre-Construction Nesting Bird Surveys. Prior to any Project construction-related activities (such as tree removal, grubbing, grading or other land disturbing

activities), the Project proponent shall take the following steps to avoid direct losses of active nests, eggs, and nestlings and indirect impacts to avian breeding success:

If construction-related activities occur only during the non-breeding season, between August 31 and February 1, no nest surveys will be required.

During the breeding bird season (February 1 through August 31), a qualified biologist shall survey areas intended for construction-related activities in the Project Area for nesting raptors and passerine birds not more than 14 days prior to any ground-disturbing activity or vegetation removal. Surveys shall include all potential habitats within 250 feet of activities for raptors, and 50 feet of activities for passerines. If results are positive for nesting birds, a qualified biologist shall advise as to whether avoidance procedures are necessary, subject to review and approval by the Community Development Director. These may include implementation of buffer areas (minimum 50-foot buffer for passerines and minimum 250-foot buffer for most raptors) or seasonal avoidance. Once established, buffer areas around active nests may be reduced on a case-by-case basis based on guidance from a qualified biologist. The biologist shall consider factors such as topography, land use, Project activities, visual screening or line-of-site to active nest, and background noise levels when establishing a reduced nest buffer. The biologist shall advise whether full-time biological monitoring should be required during all activities that occur within reduced nest buffers in order to monitor the active nest(s) for signs of disturbance or “take.”

Mitigation Measure 5: Environmental Training. All crewmembers shall attend an Environmental Awareness Training presented by a qualified biologist. The training shall include a description of the special-status species that may occur in the region, the project Avoidance and Minimization Measures, Mitigation Measures, the limits of the project work areas, applicable laws and regulations, and penalties for non-compliance. Upon completion of training, crewmembers shall sign a training form indicating they attended the program and understood the measures. Completed training form(s) shall be provided to the Project Planner before the start of project activities.

Mitigation Measure 6: Ground Disturbing Construction Activities. Ground disturbing construction-related activities shall occur during the dry season (June 1 to October 15) to facilitate avoidance of California red-legged frog. Regardless of the season, no construction shall occur within 24 hours following a significant rain event defined as greater than 1/4 inches of precipitation in a 24-hour period. Following a significant rain event and the 24-hour drying-out period, a qualified biologist shall conduct a preconstruction survey for California red-legged frog prior to the restart of any Project activities.

Mitigation Measure 7: Wildlife Encounters. If any wildlife is encountered during Project activities, said encounter shall be reported to a qualified biologist and wildlife shall be allowed to leave the work area unharmed. Animals shall be allowed to leave the work area of their own accord and without harassment. Animals shall not be picked up or moved in any way.

Mitigation Measure 8: Vegetation Disturbance. Disturbance to vegetation shall be kept to the minimum necessary to complete the Project activities. Prior to the Current Planning Section’s approval of the building permit for the project, the applicant shall submit a Biological Protection Plan, subject to Community Development Director review and approval, showing areas to remain undisturbed by construction-related activities and protected with recommended measures (such as temporary fencing with the type to be specified by a qualified biologist). To minimize impacts to vegetation, a qualified biologist shall work with the contractor to designate

work areas (including all staging areas) and designate areas to remain undisturbed and protected.

Mitigation Measure 9: Vehicle Fueling and Maintenance. All fueling, maintenance of vehicles and other equipment, and staging areas should occur at least 50 feet from the drainage swale on the northeastern edge of the project area. The edge of the 50 feet buffer zone shall be marked using visible markers by a biologist no sooner than 30 days prior to the start of construction. Equipment operators and fueling crews shall ensure that contamination of the swale does not occur during such operations by restricting all activities to outside of the buffer zone. Prior to the start of construction-related activities, a plan to allow for prompt and effective response to any accidental spills shall be submitted and subject to review and approval by the Community Development Director. All workers should be informed of the importance of preventing spills, and of the appropriate measures to take should a spill occur.

Mitigation Measure 10: Erosion and Sediment Control BMPs. Prior to the Current Planning Section's approval of a building permit, the applicant shall revise and submit the Erosion and Sediment Control Plan, subject to review and approval by the project planner. The plan shall have been reviewed by a qualified biologist prior to submittal to the County. The plan shall include measures to prevent runoff to the drainage swale on the northeastern edge of the project area and demonstrate compliance with other erosion control requirements and mitigation measures. This shall include the installation of silt fences or straw wattles between work areas and any water sources such as the drainage swale, and around any spoil piles (e.g., loose asphalt, dirt, debris, construction-related materials) that could potentially discharge sediment into habitat areas. If straw wattles are used, they shall be made of biodegradable fabric (e.g., burlap) and free of monofilament netting.

Mitigation Measure 11: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director, subject to review and approval, a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 12: The applicants and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately, and the County coroner shall be notified immediately. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 13: The design of the proposed development (upon submittal of the Building Permit) on the subject parcel shall generally follow the recommendations cited in the Geotechnical Study prepared by Sigma Prime Geosciences, Inc. and its subsequent updates regarding seismic criteria, grading, slab-on grade construction, and surface drainage. Any such changes to the recommendations by the project geotechnical engineer cited in this report and

subsequent updates shall be submitted for review and approval by the County's Geotechnical Engineer.

Mitigation Measure 14: At the time of building permit and encroachment permit application, the applicant shall revise as necessary and submit for review and approval the Erosion and Sediment Control Plan such that it shows how the transport and discharge of soil and pollutants from and within the project site would be minimized. The plans shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plans shall include measures that limit the application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for construction.
- d. Within five (5) days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two (2) weeks of seeding/planting.
- e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and to control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet, or to the extent feasible, from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 feet of fence. Silt fences shall be inspected regularly, and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.

- k. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
- l. No erosion or sediment control measures will be placed in vegetated areas.
- m. Environmentally-sensitive areas shall be delineated and protected to prevent construction impacts per Mitigation Measure 10.
- n. Control of fuels and other hazardous materials, spills, and litter during construction.
- o. Preserve existing vegetation whenever feasible.

Mitigation Measure 15: Should any traditionally or culturally affiliated Native American tribe respond to the County's issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation of the project, if the project has not yet been implemented.

Mitigation Measure 16: In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

Mitigation Measure 17: Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

INITIAL STUDY

The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are insignificant. A copy of the initial study is attached.

REVIEW PERIOD: September 18, 2019 to October 18, 2019

All comments regarding the correctness, completeness, or adequacy of this Negative Declaration must be received by the County Planning and Building Department, 455 County Center, Second Floor, Redwood City, no later than **5:00 p.m., October 18, 2019.**

CONTACT PERSON

Ruemel Panglao
Project Planner, 650/363-4582
rpanglao@smcgov.org.



Ruemel Panglao, Project Planner

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County of San Mateo
Planning and Building Department

**INITIAL STUDY
ENVIRONMENTAL EVALUATION CHECKLIST**
(To Be Completed by Planning Department)

1. **Project Title:** Harbor Village Recreational Vehicle (RV) Park
2. **County File Number:** PLN 2017-00320
3. **Lead Agency Name and Address:** San Mateo County Planning and Building Department, 455 County Center, 2nd Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Ruemel Panglao, Project Planner, 650/363-4582
5. **Project Location:** 240 Capistrano Road, unincorporated Princeton area of San Mateo County
6. **Assessor's Parcel Number and Size of Parcel:** 047-081-430 (3.356 acres)
7. **Project Sponsor's Name and Address:** Ron Stefanick, Pillar Point Project Developers, P.O. Box 158, Half Moon Bay, CA 94019
8. **Name of Person Undertaking the Project or Receiving the Project Approval (if different from Project Sponsor):** N/A
9. **General Plan Designation:** Coastside Commercial Recreation (Urban)
10. **Zoning:** CCR/DR/CD (Coastside Commercial Recreation/Design Review/Coastal Development)
11. **Description of the Project:** The applicant requests a Coastal Development Permit (CDP), Use Permit, Mobile Home Permit, and Grading Permit for the construction of a new 50 parking space RV park, plus a 869 sq. ft. shower and laundry building and landscaping, located on a legal 3.356-acre parcel (legality confirmed via Lot Line Adjustment: LLA94-0014). The construction of the RV park involves earthwork of 4,500 cubic yards of cut and 4,575 cubic yards of fill. No trees are proposed for removal. The project is located within the Cabrillo Highway (Highway 1) County Scenic Corridor. The project is appealable to the California Coastal Commission.
12. **Surrounding Land Uses and Setting:** The undeveloped site is located at the corner of Cabrillo Highway and Capistrano Road. The area to the north contains commercial uses in the unincorporated community of El Granada. The area to the west contains agricultural land. A parking lot for Pillar Point Harbor is located to the east. The areas to the south contains commercial uses, anchored by the Oceano Hotel.
13. **Other Public Agencies Whose Approval is Required:** California Department of Housing and Community Development, California Department of Transportation, Regional Water Quality Control Board.

14. **Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?** No, see Section 18.a.ii. *(NOTE: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process (see Public Resources Code Section 21080.3.2.). Information may also be available from the California Native American Heritage Commission’s Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality).*

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” or “Significant Unless Mitigated” as indicated by the checklist on the following pages.

X	Aesthetics		Energy		Public Services
	Agricultural and Forest Resources		Hazards and Hazardous Materials		Recreation
X	Air Quality	X	Hydrology/Water Quality		Transportation
X	Biological Resources		Land Use/Planning	X	Tribal Cultural Resources
X	Climate Change		Mineral Resources		Utilities/Service Systems
X	Cultural Resources	X	Noise		Wildfire
X	Geology/Soils		Population/Housing	X	Mandatory Findings of Significance

EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.

3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an Environmental Impact Report (EIR) is required.
4. "Negative Declaration: Less Than Significant with Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in 5. below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other California Environmental Quality Act (CEQA) process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are "Less Than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used, or individuals contacted should be cited in the discussion.

1. AESTHETICS. Except as provided in Public Resources Code Section 21099, would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
1.a Have a substantial adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?			X	
Discussion: Due to the presence of mature Monterey Cypress trees along Cabrillo Highway and				

the one- and two-story commercial structures to the south, public views of the Pacific Ocean are substantially blocked from viewing locations at the site and the portion of Cabrillo Highway which fronts the project site. When driving along Cabrillo Highway closer to the corner of Capistrano Road and Cabrillo Highway, there is a brief portion of the road with a view of the Pacific Ocean which may be impacted by the project. To ensure minimal blockage of this view, the proposed landscaping is limited to groundcover and low-growing shrubs at the corner of Capistrano Road and Cabrillo Highway and along the entire stretch of Capistrano Road adjacent to the property. In addition, no RV parking spaces are proposed along the Capistrano Road side of the property. As part of the project scope, the existing grade level would be lowered by approximately 1-foot relative to the elevation of the adjacent Cabrillo Highway, further minimizing the effects of any views being blocked by vertical elements.

The project is within the Cabrillo Highway County Scenic Corridor. There is an existing RV park approximately a half mile east of the project site. Additionally, RV parks are a common sight along Cabrillo Highway within other municipalities, such as Pacifica and Half Moon Bay. The applicant does not propose any additional signage, other than the use of small signs informing visitors of the rules of the RV Park. Such signs would be located at the center of the RV Park and would not be significantly visible from off-site viewing locations. Signage for the RV Park would be a panel located on an existing multi-tenant monument sign for the Harbor Village property.

Based on the foregoing, the proposed use would result in visual impacts which are less than significant.

Source: Project Plans, Project Location, County GIS Maps.

1.b Substantially damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?				X
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Discussion: The project parcel does not contain and is not located in close proximity to any rock outcroppings. One historic structure, the former Ocean Shore Railroad North Granada Station is located on the east side of Highway 1 but not within the immediate project vicinity.

Source: Project Plans, Project Location, County GIS Maps, Holman & Associates Archaeological Report.

1.c In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings, such as significant change in topography or ground surface relief features, and/or development on a ridgeline? (Public views are those that are experienced from publicly accessible vantage point.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?			X	
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<p>Discussion: The project parcel is located in an urbanized area within a Design Review (DR) District as it is zoned CCR/DR/CD (Coastside Commercial Recreation / Design Review / Coastal Development) and is within the Cabrillo Highway County Scenic Corridor. In addition, the Mobile Home (MH) ordinance applies to this project despite not offering spaces for long term residence. Based on the discussion in Sections 1.a. and 1.d., the project, as proposed and conditioned, is in compliance with the applicable design review standards of the DR Zoning District and the Community Design Manual. The project meets all applicable MH Ordinance, Zoning District, General Plan, and Local Coastal Program provisions. For a discussion of potential impacts to the County Cabrillo Highway Scenic Corridor, see Section 1.a, above.</p> <p>An RV park is a conditionally permitted use in the CCR Zoning District. The proposal meets the development standards of the respective zoning district.</p> <p>Source: Project Plans, Project Location, San Mateo County Zoning Regulations.</p>					
1.d	Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?		X		
<p>Discussion: The project would increase nighttime ambient lighting within an area that contains existing ambient light sources. The RV park proposes ten (10) 16 feet high lamp posts with downward directed lamp heads and would not create a new source of substantial light or glare. While the property does not currently contain any light sources, it is located immediately adjacent to the Ocean Hotel and the Shoppes at Harbor Village, which contains light sources and is visible from the Cabrillo Highway.</p> <p>The applicant has agreed to remove the five (5) 20-foot-high lamp posts previously proposed along the southwestern edge of the property which would have resulted in light spilling offsite. The RV park would be screened by existing, mature Monterey Cypress trees along Cabrillo Highway and existing structures from neighboring properties to the south. In addition, the majority of the lamp posts in the interior of the park would be located adjacent to one to three proposed strawberry trees (<i>Arbutus 'Marina'</i>) which, per the County Arborist, would likely reach a mature height of 25 to 30 feet based on the proposed growing conditions. These trees would also provide further screening of the light. Any light produced from the habitation of the RV park would also be screened. However, to further reduce any potential impact, the following mitigation is recommended:</p> <p>Mitigation Measure 1: All exterior lights shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. A photometric plan shall be reviewed by the Planning Section during the building permit process to verify compliance with this condition. Prior to the final approval of the building permit, lighting shall be inspected and compliance with this requirement shall be verified.</p> <p>Source: Project Plans, Project Location.</p>					
1.e	Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?		X		
<p>Discussion: See the discussion provided for Sections 1.a. through 1.e, above.</p> <p>Source: Project Plans, Project Location.</p>					
1.f.	If within a Design Review District, conflict with applicable General Plan or Zoning			X	

Ordinance provisions?				
Discussion: See the discussion provided for Section 1.c.				
Source: Project Plans, Project Location, San Mateo County Zoning Regulations.				
1.g Visually intrude into an area having natural scenic qualities?			X	
Discussion: See the discussion provided for Sections 1.a. through 1.e, above.				
Source: Project Plans, Project Location.				

<p>2. AGRICULTURAL AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
2.a. For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X
<p>Discussion: The project site is located within the Coastal Zone. The parcel is not within an area that is mapped or designated as Prime or Unique Farmland or Farmland of Statewide Importance.</p> <p>Source: Project Location, County GIS Maps, California Department of Conservation Farmland Mapping and Monitoring Program.</p>				
2.b. Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?				X
<p>Discussion: The project site is zoned Coastside Commercial Recreation (CCR). The zoning does not allow for agriculture uses. The parcel is also not subject to an existing Open Space Easement or Williamson Act contract.</p> <p>Source: Project Location, County Zoning Regulations, County GIS Maps, County Williamson Act</p>				

Contracts.				
2.c.	Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use?			X
<p>Discussion: The project site is undeveloped. It does not contain Farmland. It should be noted that the property has been used in the past as a pumpkin patch for sale of pumpkins for annual fall holidays, but the property was not used for the cultivation of any agricultural commodities.</p> <p>Also, the site does not contain forestland (defined as land that can support 10% native tree cover of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits). Therefore, the project would not convert Farmland to a non-agricultural use or forestland to non-forest use. Project Location, County GIS Maps, California Department of Conservation Farmland Mapping and Monitoring Program.</p> <p>Source: Project Location, County GIS Maps, California Department of Conservation Farmland Mapping and Monitoring Program.</p>				
2.d.	For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?		X	
<p>Discussion: The subject parcel is located in the Coastal Zone. The Natural Resources Conservation Service has classified the project site as containing soils that have a Class III rating (non-irrigated). The entire parcel contains prime soils, as well as the developed area of Princeton and a large portion of the Harbor District property to the southeast. The areas that are proposed to be converted have not been used in the recent past for agricultural purposes and have been disturbed previously. The property has been used as a pumpkin patch for sale of pumpkins for annual holidays, but the property was not used for the cultivation of any agricultural commodities. It has also been used historically as a staging area for temporary events and as unpaved overflow parking for the adjacent commercial development. No division of land is proposed. Therefore, while the project would result in the conversion of prime soils, the area has been continually disturbed over time for commercial purposes and is not zoned for agriculture. Thus, the project poses minimal impact.</p> <p>Source: Project Location, Natural Resources Conservation Service Web Soil Survey - California Revised Storie Index, County Zoning Regulations.</p>				
2.e.	Result in damage to soil capability or loss of agricultural land?		X	
<p>Discussion: See the discussion provided for Section 2.d.</p> <p>Source: Project Location, Natural Resources Conservation Service Web Soil Survey - California Revised Storie Index, County Zoning Regulations.</p>				

<p>2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?</p> <p><i>Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.</i></p>				X
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Discussion: The project site does not contain forestland or timberland; therefore, there is no conflict with existing zoning or cause for rezoning.

Source: Project Location, County GIS Maps, County Zoning Regulations.

<p>3. AIR QUALITY. Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
<p>3.a. Conflict with or obstruct implementation of the applicable air quality plan?</p>		X		

Discussion: The Bay Area 2010 Clean Air Plan (CAP), developed by the Bay Area Air Quality Management District (BAAQMD), is the applicable air quality plan for San Mateo County. The CAP was created to improve Bay Area air quality and to protect public health and climate.

The project would not conflict with or obstruct the implementation of the BAAQMD's 2010 CAP. The project and its operation involve minimal hydrocarbon (carbon monoxide; CO₂) air emissions, whose source would be from trucks and equipment (whose primary fuel source is gasoline) during its construction. The impact from the occasional and brief duration of such emissions would not conflict with or obstruct the Bay Area Air Quality Plan.

The construction of the RV park involves earthwork of 4,500 cubic yards of cut and 4,575 cubic yards of fill. As proposed grading would largely be balanced on-site, there would be no off-haul and minimal truck trips for import of materials.

Regarding emissions from construction vehicles (employed at the site during the project's construction), the following mitigation measure is recommended to ensure that the impact from such emissions is less than significant:

Mitigation Measure 2: The applicant shall implement dust control measures, as listed below. Measures shall be included on plans submitted for the Building Permit and encroachment permit applications. The measures shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The measures shall include the following:

- a. Water all active construction areas at least twice daily.

- b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
- c. Cover all trucks hauling soil, sand, and other loose materials, or require all trucks to maintain at least 2 feet of freeboard.
- d. Apply water three times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at the construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- e. Sweep daily (preferably with water sweepers) all paved access roads, parking, and staging areas at the construction sites.
- f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- g. Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- h. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour (mph).
- i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- j. Replant vegetation in disturbed areas as quickly as possible.

Source: Project Plans, Bay Area Air Quality Management District.

3.b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard?		X		
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Discussion: As of December 2012, San Mateo County is a non-attainment area for PM-2.5. On January 9, 2013, the Environmental Protection Agency (EPA) issued a final rule to determine that the Bay Area attains the 24-hour PM-2.5 national standard. However, the Bay Area will continue to be designated as “non-attainment” for the national 24-hour PM-2.5 standard until the BAAQMD submits a “re-designation request” and a “maintenance plan” to EPA and the proposed re-designation is approved by the EPA. A temporary increase in the project area is anticipated during construction since these PM-2.5 particles are a typical vehicle emission. The temporary nature of the proposed construction and California Air Resources Board vehicle regulations reduce the potential effects to a less than significant impact. The following mitigation measure would minimize increases in non-attainment criteria pollutants generated from project construction to a less than significant level:

Mitigation Measure 3: The applicant shall submit an Air Quality Best Management Practices Plan to the Planning and Building Department prior to the issuance of any grading permit “hard card” or building permit that, at a minimum, includes the “Basic Construction Mitigation Measures” as listed in Table 8-1 of the BAAQMD California Environmental Quality Act (CEQA) Guidelines (May 2011). The following Bay Area Air Quality Management District Best Management Practices for mitigating construction-related criteria air pollutants and precursors shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.

- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day.
- d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour(mph).
- e. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
- f. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- g. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
- h. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications.
- i. Minimize the idling time of diesel-powered construction equipment to two minutes.
- j. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Source: Project Plans, Bay Area Air Quality Management District.

3.c. Expose sensitive receptors to substantial pollutant concentrations, as defined by the Bay Area Air Quality Management District?			X	
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Discussion: The project site is located in an urban area with no sensitive receptors, such as schools, located within the project vicinity. The closet residence is over 20 feet to the north of the parcel. Therefore, the project would not expose sensitive receptors to significant levels of pollutant concentrations.

Source: Project Plans, Bay Area Air Quality Management District.

3.d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?			X	
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Discussion: The project, once operational, would not create or generate any significant odors. Potential odors which may be generated include exhaust odors associated with typical vehicle parking uses. The project has the potential to generate more odors associated with construction activities. However, any such odors would be temporary and would not have a significant impact on large numbers of people over an extended duration of time. Thus, the impact would less than significant.

Source: Project Plans.

4. BIOLOGICAL RESOURCES. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
4.a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?		X		

Discussion: A biological resources evaluation (SWCA evaluation) was prepared by SWCA Environmental Consultants, dated November 2017, which analyzed potential project impacts to biological resources on the subject parcel. SWCA Evaluation is included as Attachment C.

According to the SWCA evaluation, SWCA biologist Jessica Henderson-McBean conducted a reconnaissance-level field survey of the study area on October 17, 2017, to document the existing biological conditions and determine the potential for special-status species to occur in the study area. One northern harrier (*Circus cyaneus*), a California Department of Fish and Wildlife (CDFW) species of special concern was observed foraging within the study area. No other special-status species were observed within the study area during the biological field survey. A drainage swale was observed along the northeastern edge of the project area, which is unlikely in SWCA’s opinion to be considered jurisdictional by CDFW, US Army Corps of Engineers (USACE), the Regional Water Quality Control Board (RWQCB), and the California Coastal Commission (CCC). No other jurisdictional wetlands, water features, or riparian corridors were observed within the project area.

The project area is bordered by a commercial development to the north and southwest, by actively-cultivated agricultural land to the north and west, and by Cabrillo Highway to the northeast. The SWCA evaluation states that developed, agricultural, and disturbed/ruderal habitats do not typically provide suitable habitat for sensitive wildlife species. In addition, infrastructure and other man-made facilities surrounding the project area (e.g., roads and dense development) present potential barriers to dispersal of wildlife into and across the project area.

The drainage swale along the northeast edge of the project area, which conveys surface flows into a culvert pipe with a presumed terminus in the Pacific Ocean, may provide marginal, suitable aquatic habitat for sensitive wildlife species such as California red-legged frog (*Rana draytonii*), a federally listed threatened species and California species of special concern, and San Francisco garter snake (*Thamnophis sirtalis tetrataenia*), a federally and state listed endangered species and CDFW fully protected species. Although the project area lacks suitable natural habitat conditions for these species, the project area could be used by these species for dispersal. However, due to the lack of emergent vegetation cover and development surrounding the project area, the potential for these species to occur within the Project Area is low.

Additionally, the drainage swale does not meet the LCP definition of a riparian corridor due to the lack of riparian vegetation.

The project area does contain habitat for nesting migratory birds, including northern harrier (*Circus cyaneus*), a CDFW species of special concern that is protected under the Migratory Bird Treaty Act and/or the California Fish and Game Code.

Due to the potential for these species to occur within the project area, it is recommended that the

following mitigation measures be implemented to avoid potential impacts to California red-legged frog, San Francisco garter snake, and nesting migratory birds (during the breeding season):

Mitigation Measure 4: Pre-Construction Nesting Bird Surveys. Prior to any Project construction-related activities (such as tree removal, grubbing, grading or other land disturbing activities), the Project proponent shall take the following steps to avoid direct losses of active nests, eggs, and nestlings and indirect impacts to avian breeding success:

If construction-related activities occur only during the non-breeding season, between August 31 and February 1, no nest surveys will be required.

During the breeding bird season (February 1 through August 31), a qualified biologist shall survey areas intended for construction-related activities in the Project Area for nesting raptors and passerine birds not more than 14 days prior to any ground-disturbing activity or vegetation removal. Surveys shall include all potential habitats within 250 feet of activities for raptors, and 50 feet of activities for passerines. If results are positive for nesting birds, a qualified biologist shall advise as to whether avoidance procedures are necessary, subject to review and approval by the Community Development Director. These may include implementation of buffer areas (minimum 50-foot buffer for passerines and minimum 250-foot buffer for most raptors) or seasonal avoidance. Once established, buffer areas around active nests may be reduced on a case-by-case basis based on guidance from a qualified biologist. The biologist shall consider factors such as topography, land use, Project activities, visual screening or line-of-site to active nest, and background noise levels when establishing a reduced nest buffer. The biologist shall advise whether full-time biological monitoring should be required during all activities that occur within reduced nest buffers in order to monitor the active nest(s) for signs of disturbance or "take."

Mitigation Measure 5: Environmental Training. All crewmembers shall attend an Environmental Awareness Training presented by a qualified biologist. The training shall include a description of the special-status species that may occur in the region, the project Avoidance and Minimization Measures, Mitigation Measures, the limits of the project work areas, applicable laws and regulations, and penalties for non-compliance. Upon completion of training, crewmembers shall sign a training form indicating they attended the program and understood the measures. Completed training form(s) shall be provided to the Project Planner before the start of project activities.

Mitigation Measure 6: Ground Disturbing Construction Activities. Ground disturbing construction-related activities shall occur during the dry season (June 1 to October 15) to facilitate avoidance of California red-legged frog. Regardless of the season, no construction shall occur within 24 hours following a significant rain event defined as greater than 1/4 inches of precipitation in a 24-hour period. Following a significant rain event and the 24-hour drying-out period, a qualified biologist shall conduct a preconstruction survey for California red-legged frog prior to the restart of any Project activities.

Mitigation Measure 7: Wildlife Encounters. If any wildlife is encountered during Project activities, said encounter shall be reported to a qualified biologist and wildlife shall be allowed to leave the work area unharmed. Animals shall be allowed to leave the work area of their own accord and without harassment. Animals shall not be picked up or moved in any way.

Mitigation Measure 8: Vegetation Disturbance. Disturbance to vegetation shall be kept to the minimum necessary to complete the Project activities. Prior to the Current Planning Section's approval of the building permit for the project, the applicant shall submit a Biological Protection Plan, subject to Community Development Director review and approval, showing areas to remain undisturbed by construction-related activities and protected with recommended measures (such as temporary fencing with the type to be specified by a qualified biologist). To minimize impacts to vegetation, a qualified biologist shall work with the contractor to designate work areas (including all staging areas) and designate areas to remain undisturbed and protected.

Mitigation Measure 9: Vehicle Fueling and Maintenance. All fueling, maintenance of vehicles and other equipment, and staging areas should occur at least 50 feet from the drainage swale on the northeastern edge of the project area. The edge of the 50 feet buffer zone shall be marked using visible markers by a biologist no sooner than 30 days prior to the start of construction. Equipment operators and fueling crews shall ensure that contamination of the swale does not occur during such operations by restricting all activities to outside of the buffer zone. Prior to the start of construction-related activities, a plan to allow for prompt and effective response to any accidental spills shall be submitted and subject to review and approval by the Community Development Director. All workers should be informed of the importance of preventing spills, and of the appropriate measures to take should a spill occur.

Mitigation Measure 10: Erosion and Sediment Control BMPs. Prior to the Current Planning Section's approval of a building permit, the applicant shall revise and submit the Erosion and Sediment Control Plan, subject to review and approval by the project planner. The plan shall have been reviewed by a qualified biologist prior to submittal to the County. The plan shall include measures to prevent runoff to the drainage swale on the northeastern edge of the project area and demonstrate compliance with other erosion control requirements and mitigation measures. This shall include the installation of silt fences or straw wattles between work areas and any water sources such as the drainage swale, and around any spoil piles (e.g., loose asphalt, dirt, debris, construction-related materials) that could potentially discharge sediment into habitat areas. If straw wattles are used, they shall be made of biodegradable fabric (e.g., burlap) and free of monofilament netting.

Source: Project Plans, Project Location, County GIS Maps, SWCA Biological Resources Evaluation (dated November 2017).

4.b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				X
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Discussion: Per the SWCA evaluation, there are no areas of riparian habitat or sensitive natural communities identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service, in the project area.

Source: Project Plans, Project Location, County GIS Maps, SWCA Biological Resources Evaluation (dated November 2017).

4.c. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
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Discussion: The SWCA evaluation found no wetlands in the entire study area, as defined either by Section 404 or in the County Local Coastal Program. As a result, the project poses no impact to these resources.

Source: Project Plans, Project Location, County GIS Maps, SWCA Biological Resources Evaluation

(dated November 2017).				
4.d.	Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?		X	
<p>Discussion: According to the SWCA evaluation, the project area is located within an area of commercial and agricultural development and therefore it is unlikely that the project area serves as a wildlife movement corridor. Due to the presence of marginal aquatic habitat for California red-legged frog and San Francisco garter snake, it is possible that the Project Area may be used as seasonal dispersal habitat for these species. With the implementation of the Mitigation Measures in Section 4.a, impacts to wildlife corridors would be minimized.</p> <p>Source: Project Plans, Project Location, County GIS Maps, SWCA Biological Resources Evaluation (dated November 2017).</p>				
4.e.	Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)?		X	
<p>Discussion: The project does not propose to remove or impact any significant or heritage trees. The existing, mature Monterey Cypress trees along Cabrillo Highway would be retained and protected during construction. As noted in the Mayne Arborist Report, a protective barrier of six-foot chain-link fence shall be installed around the dripline of affected trees and no work shall be performed in the tree protection zone unless supervised by the project arborist. No trees proposed to remain should be significantly impacted by the proposed construction.</p> <p>Source: Project Plans, Mayne Arborist Report.</p>				
4.f.	Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or state habitat conservation plan?			X
<p>Discussion: The site is not located in an area with an adopted Habitat Conservation Plan or Natural Conservation Community Plan, other approved regional or State habitat conservation plan.</p> <p>Source: Project Plans, Project Location, County GIS Map.</p>				
4.g.	Be located inside or within 200 feet of a marine or wildlife reserve?			X
<p>Discussion: The project site is not located inside or within 200 feet of a marine or wildlife reserve.</p> <p>Source: Project Plans, Project Location, County GIS Map, National Wildlife Refuge System Locator.</p>				

4.h. Result in loss of oak woodlands or other non-timber woodlands?				X
Discussion: The project site includes no oak woodlands or other timber woodlands.				
Source: Project Plans, Project Location.				

5. CULTURAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
5.a. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?				X
Discussion: The project site does not host any known historical resources, by either County, State, or Federal listings. Thus, the project poses no impact to these resources.				
Source: California Register of Historical Resources.				
5.b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?		X		

Discussion: Based on the project parcel's existing surrounding land uses, it is not likely that the project parcel and surrounding area would host any archaeological resources. The California Historical Resources Information System's Northwest Information Center at Sonoma State University (Sonoma State), in a letter dated April 10, 2019, notes that there was a previous cultural resource study for the project area in 1994 that identified no cultural resources. However, the Sonoma State letter notes that the project area has the possibility of containing unrecorded archaeological sites. Native American resources in this part of San Mateo County have been recorded in the foothill to valley floor interface, at the mouths of drainage canyons, in Holocene alluvial fan deposits, and in coastal terraces or adjacent to intermittent or perennial watercourses. The proposed project area is situated within Holocene alluvial fan deposits approximately 160 meters from Half Moon Bay; additionally, according to a review of historic maps, the proposed project area was once adjacent to a perennial watercourse.

Due to the passage of time since the previous survey (Clark 1994) and the changes in archaeological theory and method since that time, Sonoma State recommends a qualified archaeologist conduct further archival and field study for the entire project area to identify archaeological resources.

Per the Archaeological Report, prepared by Holman & Associates and dated June 2019, the project area contains no evidence of prehistoric archaeological resources by archival search or field survey. Historic topographic maps show no prior development around and within the project area, so it is quite unlikely historic archaeological deposits or features could exist in or around the currently developed property.

The following mitigation measure is provided in the event that any cultural, paleontological, or

archeological resources are encountered during project construction and excavation activities:

Mitigation Measure 11: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director, subject to review and approval, a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Source: Project Location, County GIS Maps, California Historical Resources Information System Review Letter (dated April 10, 2019), Holman & Associates Archaeological Report (dated June 2019).

5.c. Disturb any human remains, including those interred outside of formal cemeteries?		X		
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Discussion: No known human remains are located within the project area or surrounding vicinity. In case of accidental discovery, the following mitigation measure is recommended:

Mitigation Measure 12: The applicants and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately, and the County coroner shall be notified immediately. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Source: Project Location, County GIS Maps.

6. ENERGY. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
6.a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?			X	

Discussion: The project involves the construction of a small 869 sq. ft. laundry and restroom facility. The size of the proposed building is appropriate to the proposed use. The proposed lighting would be LED and, therefore, energy efficient. The project includes landscaping that would minimize heat island effects. Overall, the site would be constructed in compliance with all relevant building codes and regulations. In addition, per the discussion in Section 17.b, the project would cause a less than significant impact on vehicles miles traveled (VMT), which indicates that there will

be a minimal impact on air pollutants and greenhouse gases (GHG) and congestion.

In terms of the use of electrical power, the RV park would use power mainly for the small laundry and restroom facility and for any customer utilizing the electrical hookups for their respective RV. These represent a necessary consumption of resources for the operation of the RV park.

Source: Project Plans, Project Location, Hexagon Transportation Consultants, Inc. 100 Capistrano Road Harbor Village RV Park Draft Traffic Impact Analysis (dated January 18, 2019).

6.b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

X

Discussion: Per the discussion in Section 6.a., the project would pose a less than significant impact.

Source: Project Plans.

7. GEOLOGY AND SOILS. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
7.a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? <i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>		X		

Discussion: A geotechnical report was prepared by Sigma Prime Geosciences, Inc. (Sigma Prime), dated May 17, 2019, included as Attachment F. Sigma Prime determined the closest mapped active fault zone to the site is the San Gregorio-Seal Cove fault, located offshore about 1 kilometer (km) to the west. Other faults in the region most likely to produce significant seismic ground motions include the San Andreas, Hayward, Rodgers Creek, and Calaveras faults.

According to Sigma Prime, the site is not located in an active Alquist-Priolo special studies area or zone where fault rupture is considered likely. Therefore, active faults are not believed to exist beneath the site, and the potential for fault rupture to occur at the site is low. Although it is highly probable that the proposed project would experience very strong ground shaking during a moderate to large nearby earthquake, Sigma Prime states that the proposed project can be developed as

planned, provided that the geotechnical recommendations from their report be implemented.

Since the project location and its distance from the cited fault zone can result in strong seismic ground shaking in the event of an earthquake, the following mitigation measure is recommended to ensure that such impacts are less than significant:

Mitigation Measure 13: The design of the proposed development (upon submittal of the Building Permit) on the subject parcel shall generally follow the recommendations cited in the Geotechnical Study prepared by Sigma Prime Geosciences, Inc. and its subsequent updates regarding seismic criteria, grading, slab-on grade construction, and surface drainage. Any such changes to the recommendations by the project geotechnical engineer cited in this report and subsequent updates shall be submitted for review and approval by the County's Geotechnical Engineer.

Source: Project Plans, Project Location, San Mateo County Hazards Maps, Sigma Prime Geotechnical Study (dated May 17, 2018).

ii. Strong seismic ground shaking?		X		
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Discussion: Pursuant to the discussion in Section 7.a.i., strong seismic ground shaking may occur in the event of an earthquake. However, the mitigation measure provided in Section 6.a.i. would minimize impacts to a less than significant level.

Source: Project Plans, Project Location, San Mateo County Hazards Maps, Sigma Prime Geotechnical Study (dated May 17, 2018).

iii. Seismic-related ground failure, including liquefaction and differential settling?		X		
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Discussion: According to Sigma Prime, soils most susceptible to liquefaction are saturated, loose, silty sands, and uniformly graded sands. The 4.5-foot thick layer of loose silty sand at a depth of 13.5 feet underlying the site is likely to liquefy during a design earthquake. Sigma Prime estimates up to 1.8 inches of settlement. An existing thick clay cap should reduce this amount at the ground surface to about 1-inch of total settlement and 0.5 inches of differential settlement.

However, pursuant to the discussion in Section 7.a.i., its respective mitigation measure is provided to minimize any impacts to a less than significant level.

Source: Project Plans, Project Location, San Mateo County Hazards Maps, Sigma Prime Geotechnical Study (dated May 17, 2018).

iv. Landslides?		X		
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Discussion: The site is moderately sloped, so the likelihood of a landslide impacting the site is low. However, pursuant to the discussion in Section 7.a.i., its respective mitigation measure is provided to minimize any impacts to a less than significant level.

Source: Project Plans, Project Location, San Mateo County Hazards Maps, Sigma Prime Geotechnical Study (dated May 17, 2018).

v. Coastal cliff/bluff instability or erosion? <i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7</i>				X
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<i>(Climate Change).</i>				
<p>Discussion: The project site is located about 500 feet from the coastline. Therefore, there would be no project impact on coastal cliff or bluff instability or erosion.</p> <p>Source: Project Location.</p>				
7.b.	Result in substantial soil erosion or the loss of topsoil?		X	
<p>Discussion: The construction of the RV park involves 4,500 cubic yards of cut and 4,575 cubic yards of fill. Total land disturbance is 2.9-acres. The project is subject to coverage under a State General Construction Permit. The mitigation measures in Sections 3.a. and 3.b., and the following mitigation measure are included to control erosion during both project construction activities.</p> <p>With these mitigation measures, the project impact would be less than significant.</p> <p>Mitigation Measure 14: At the time of building permit and encroachment permit application, the applicant shall revise as necessary and submit for review and approval the Erosion and Sediment Control Plan such that it shows how the transport and discharge of soil and pollutants from and within the project site would be minimized. The plans shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plans shall include measures that limit the application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including:</p> <ol style="list-style-type: none"> a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place. b. Minimize the area of bare soil exposed at one time (phased grading). c. Clear only areas essential for construction. d. Within five (5) days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two (2) weeks of seeding/planting. e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and to control dust. f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling. g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet, or to the extent feasible, from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year. h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate. i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow 				

energy.

- j. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 feet of fence. Silt fences shall be inspected regularly, and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
- k. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
- l. No erosion or sediment control measures will be placed in vegetated areas.
- m. Environmentally-sensitive areas shall be delineated and protected to prevent construction impacts per Mitigation Measure 10.
- n. Control of fuels and other hazardous materials, spills, and litter during construction.
- o. Preserve existing vegetation whenever feasible.

Source: Project Plans, Project Location, San Mateo County Hazards Maps, Sigma Prime Geotechnical Study (dated May 17, 2018), San Mateo Countywide Stormwater Pollution Prevention Program.

7.c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse?		X		
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Discussion: Pursuant to the discussion to Sections 7.a. and 7.b., the associated mitigation measures would assure that the project does not result in an on-site or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse. Therefore, the mitigation measures would minimize project impacts in these areas to a less than significant level.

Source: Project Plans, Project Location, San Mateo County Hazards Maps, Sigma Prime Geotechnical Study (dated May 17, 2018).

7.d. Be located on expansive soil, as defined in Table 18-1-B of Uniform Building Code, creating substantial direct or indirect risks to life or property?		X		
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Discussion: According to Sigma Prime, subsurface clayey soils at the site have a high potential for expansion. Expansive soils tend to swell with increases in moisture content and shrink with decreases in moisture content. These moisture fluctuations typically occur during seasonal variations in precipitation, but can also occur from irrigation, changes in site drainage, or the presence of tree roots. As the soil shrinks and swells, improvements supported on the expansive soils may fall and rise. These movements may cause cracking and vertical deformations of improvements, which can be addressed by regular maintenance of parking areas and structures. However, pursuant to the discussion in Section 7.a.i., its respective mitigation measure is provided to minimize any impacts to a less than significant level.

Source: Project Plans, Project Location, San Mateo County Hazards Maps, Sigma Prime

Geotechnical Study (dated May 17, 2018).					
7.e.	Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X
<p>Discussion: The proposed RV park would have sanitary sewer service connections from the Granada Community Services District and therefore does not require or include any septic tanks or wastewater disposal systems. Thus, the project poses no impact in this area.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Granada Sanitary District.</p>					
7.f.	Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?		X		
<p>Discussion: Based on the project parcel's existing surrounding land uses, it is not likely that the project parcel and surrounding area would host any paleontological resource or site or unique geologic feature. However, Mitigation Measure 11 in Section 5.b. is provided to ensure that the impact is less than significant if any resources are encountered.</p> <p>Source: Project Location, County GIS Maps.</p>					

8. CLIMATE CHANGE. Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
8.a.	Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?		X		
<p>Discussion: Greenhouse Gas Emissions (GHG) include hydrocarbon (carbon monoxide; CO₂) air emissions from vehicles and machines that are fueled by gasoline. Project-related grading and construction of the RV park would result in the temporary generation of GHG emissions along travel routes and at the project site. In general, construction involves GHG emissions mainly from exhaust from vehicle trips (e.g., construction vehicles and personal vehicles of construction workers). Even assuming construction vehicles and workers are based in and traveling from urban areas, the potential project GHG emission levels from construction would be considered minimal considering the temporary duration of construction (approximately 10 to 12 month). Although the project scopes for the current and potential future projects are not likely to generate a significant cumulative amount of construction-related greenhouse gases, the mitigation measure is provided in Section 3.b. to minimize any impact to a less than significant level.</p> <p>In terms of operational GHG, GHGs would be produced by the RVs travelling to and from the site. The trips to the proposed RV park would be along the typical shoreline route that many travelers in</p>					

<p>RVs take when visiting the California coast; therefore, the project itself will not create new GHGs that would not already be generated by the RVs as they travel along the California coast.</p> <p>Source: Project Plans, Project Location.</p>					
8.b.	Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?				X
<p>Discussion: The proposed project does not conflict with the County of San Mateo Energy Efficiency Climate Action Plan (EECAP). As new construction, the project complies with the applicable measures regarding green building, landscaping, and water efficiency.</p> <p>Source: Project Plans, 2013 San Mateo County Energy Efficiency Climate Action Plan, EECAP Development Checklist.</p>					
8.c.	Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?				X
<p>Discussion: The project parcel and surrounding area are not considered forest land, nor do they host any such forest canopy. Therefore, the project poses no impact to such resources.</p> <p>Source: Project Plans, Project Location, County GIS Maps.</p>					
8.d.	Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?				X
<p>Discussion: As discussed in Section 7.a.v., the project site and remaining vacant parcels are located about 500 feet from the coastline. Therefore, the project would not be impacted by coastal cliff/bluff erosion due to rising sea levels.</p> <p>Source: Project Location.</p>					
8.e.	Expose people or structures to a significant risk of loss, injury or death involving sea level rise?				X
<p>Discussion: As discussed in Section 7.a.v., the project site and remaining vacant parcels are located about 500 feet from the coastline. Therefore, the project would not be impacted by coastal cliff/bluff erosion due to rising sea levels.</p> <p>Source: Project Location.</p>					
8.f.	Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood			X	

hazard delineation map?				
<p>Discussion: The project site is not located in an anticipated 100-year flood hazard area as mapped by the Federal Emergency Management Agency (FEMA). The project site and associated parcels are located in FEMA Flood Zone X, which is considered a minimal flood hazard (Panel No. 06081C0138F, effective August 2, 2017). FEMA Flood Zone X areas have a 0.2% annual chance of flooding, with areas with one (1) percent annual chance of flooding with average depths of less than 1-foot. Therefore, the project impact would be less than significant.</p> <p>Source: Project Location, County GIS Maps, Federal Emergency Management Agency Flood Insurance Rate Map 06081C0138F, effective August 2, 2017.</p>				
8.g. Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p>Discussion: The project site is not located in an anticipated 100-year flood hazard area as mapped by FEMA. Pursuant to the discussion in Section 7.f., the project poses no impact.</p> <p>Source: Project Location, County GIS Maps, Federal Emergency Management Agency Flood Insurance Rate Map 06081C0138F, effective August 2, 2017.</p>				

9. HAZARDS AND HAZARDOUS MATERIALS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
9.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)?				X
<p>Discussion: The project does not involve the use, transport, or disposal of hazardous materials.</p> <p>Source: Project Plans.</p>				
9.b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X
<p>Discussion: The use of hazardous materials is not proposed for this project.</p> <p>Source: Project Plans.</p>				
9.c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within				X

one-quarter mile of an existing or proposed school?				
<p>Discussion: The emission of hazardous materials, substances, or waste is not proposed for this project. The project parcel is also not located within one-quarter mile of an existing or proposed school.</p> <p>Source: Project Plans, Project Location.</p>				
9.d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X
<p>Discussion: The project site and the remaining vacant parcels are not included on a list of hazardous materials compiled pursuant to Government Code Section 65962.5 and therefore would not result in the creation of a significant hazard to the public or the environment.</p> <p>Source: Project Location, California Department of Toxic Substances Control.</p>				
9.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?			X	
<p>Discussion: The project site is located approximately 900 feet east of the easterly boundary of the Half Moon Bay Airport, a public airport operated by the County Department of Public Works. Development within certain proximities of the airport are regulated by applicable policies and requirements of the Final Half Moon Bay Airport Land Use Compatibility Plan (ALUCP), as adopted by the City/County Association of Governments (C/CAG) on October 9, 2014. The overall objective of the ALUCP safety compatibility guidelines is to minimize the risks associated with potential aircraft accidents for people and property on the ground in the event of an aircraft accident near an airport and to enhance the chances of survival of the occupants of an aircraft involved in an accident that occurs beyond the runway environment. The ALUCP has safety zone land use compatibility standards that restrict land use development that could pose particular hazards to the public or to vulnerable populations in case of an aircraft accident.</p> <p>A large majority of the project site is located in the Airport Influence Area (Runway Safety Zone 7), where accident risk level is considered to be low. The bathroom/laundry facility would be located within this zone.</p> <p>A small portion of the west corner of the project site (approximately .13 acre of the 3.356 acres of the total site) is located in the Airport Influence Area (Zone 2), the Inner Turning Zone (ITZ), where accident risk level is considered to be moderate to high encompassing approximately seven percent of general aviation aircraft accidents. The ITZ Zone does not prohibit uses such as RV parks. Furthermore, the bathroom/laundry facility would be located outside of this zone. Additionally, the proposed use complies with the other ITZ development conditions in the Safety Criteria Matrix of the ALUCP such as locating the structure a maximum distance from extended runway centerline and maintaining a less than 35-ft. building height. No project structures are proposed within the ITZ.</p>				

<p>The maximum height of any RVs parked in the ITZ zone would not exceed the height limit of the CCR zoning district (28 feet).</p> <p>Based on the discussion above, staff has determined that the proposed project complies with the safety compatibility criteria and poses a less than significant impact.</p> <p>Source: Project Plans, Project Location, 2014 Final Half Moon Bay Airport Land Use Compatibility Plan.</p>					
9.f.	Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?			X	
<p>Discussion: The project would not impair implementation of or physically interfere with an adopted emergency response or evacuation plan. The proposed project would not impede, change the configuration of, or close any roadways that could be used for emergency purposes. However, as discussed in Section 17, the project would contribute additional traffic to existing roadways, but the level of impact is considered less than significant and does not require mitigation. Therefore, the project poses no impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps.</p>					
9.g.	Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?				X
<p>Discussion: The project site is not located within a Fire Hazard Severity Zone (State Responsibility Area). The project site is currently vegetated, undeveloped land which is located within an urban, developed area. Project implementation would result in the construction of a paved and landscaped site that would reduce risk of wildland fire in the area. Additionally, the project was reviewed by Coastside Fire Protection District (CFPD) and received conditional approval subject to compliance with the California Building Code for hard wired smoke detectors, an automatic fire sprinkler system, and ignition resistant construction and materials, among other fire prevention requirements. No further mitigation, beyond compliance with the standards and requirements of the CFPD, is necessary.</p> <p>Source: Project Location, California State Fire Severity Zones Maps, Coastside Fire Protection District.</p>					
9.h.	Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: While no housing is proposed as part of this project, the project includes a total of 50-parking spaces for overnight stays within recreational vehicles. The project would not place structures within a 100-year flood hazard area as the project site is not located within a flood hazard zone that will be inundated by a 100-year flood.</p> <p>Source: Project Plans.</p>					

9.i. Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p>Discussion: As discussed in Section 8.f., the project site is located in Flood Zone X, an area of minimal flood hazard. The project would not place structures within a 100-year flood hazard area as the project site is not located within a flood hazard zone that will be inundated by a 100-year flood.</p> <p>Source: Project Location, County GIS Maps, Federal Emergency Management Agency Flood Insurance Rate Map 06081C0138F, effective August 2, 2017.</p>				
9.j. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
<p>Discussion: In addition to the discussion Section 9.i., no dam or levee is located in close proximity to the project site or remaining vacant parcels. Therefore, there is no risk of flooding due to failure of a dam or levee.</p> <p>Source: Project Plans, Project Location, County GIS Maps, San Mateo County Hazards Maps.</p>				
9.k. Inundation by seiche, tsunami, or mudflow?			X	
<p>Discussion: While no housing is proposed as part of this project and the bathroom and laundry facility building is the only structure, the project includes a total of 50-parking spaces for overnight stays within recreational vehicles. According to the San Mateo County General Plan Hazards Map, only a small portion of landscaping in the southwest area of the project parcel is located within a San Mateo County General Plan tsunami and seiche inundation area. Furthermore, the project site is not located in an area of high landslide susceptibility (which could contribute to mudflow).</p> <p>Source: Project Plans, Project Location, County GIS Maps, San Mateo County Hazards Maps.</p>				

10. HYDROLOGY AND WATER QUALITY. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
10.a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?			X	

Discussion: As the proposed project would result in 1.17 acres of new or replaced impervious surface, the project has the potential to generate polluted stormwater runoff during project operation. The project would be required to comply with the County's Drainage Policy requiring post-construction stormwater flows to be at, or below, pre-construction flow rates. Drainage analysis for the RV park was prepared by Sigma Prime, dated November 2018, detailing the proposed drainage system. The drainage reports state that the proposed detention system is designed such that post-development runoff would be less than or equal to the pre-development runoff, and no runoff is diverted from one drainage area to another. The reports state that there would be no appreciable downstream impacts and that current drainage patterns indicate minimal runoff from adjacent impervious surfaces onto the subject property. Runoff from the RV park would be filtered through and be detained by the proposed bioretention areas. This would result in a net decrease of the volume of runoff that ultimately reaches the Pacific Ocean through the existing storm drainage system.

The proposed project, including the discussed drainage report and plans, were reviewed and approved by the Department of Public Works. Based on these findings, the project impact will be less than significant.

Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated November 2018).

10.b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?			X	
<p>Discussion: The project site is currently vegetated, undeveloped land which allows surface water to infiltrate into the groundwater basin. The proposal includes creation of 34,967 sq. ft. of new impervious surface. Run-off from these new surfaces would be directed to on-site bio-retention systems that would allow surface water to infiltrate into the groundwater basin. The project site does not contain any wells nor does the project involve any new wells. The project would connect to Coastside County Water District (CCWD).</p> <p>Source: Project Plans, Project Location, San Mateo County Hazards Maps, Sigma Prime Geotechnical Study (dated May 17, 2018).</p>				
10.c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner that would:				
i. Result in substantial erosion or siltation on- or off-site;		X		

<p>Discussion: The proposed project does not involve the alteration of the course of a stream or river. The project involves the construction of 1.17 acres of impervious area. The proposed development on the project parcel would include drainage features that have been reviewed and approved by the Department of Public Works. With Mitigation Measures 2 and 3 to address potential impacts during construction activities, the project would have a less than significant impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated March 2018).</p>				
ii. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;			X	
<p>Discussion: Pursuant to the discussion in Sections 10.a. and 10.c.i., the proposed project would have a less than significant impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated March 2018).</p>				
iii. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or			X	
<p>Discussion: Pursuant to the discussion in Section 10.a., the proposed project would have a less than significant impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated March 2018).</p>				
iv. Impede or redirect flood flows?			X	
<p>Discussion: Pursuant to the discussion in Sections 10.a. and 10.c.i, the proposed project would have a less than significant impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated March 2018).</p>				
10.d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?			X	
<p>Discussion: Pursuant to the discussion in Section 9.k., the proposed project will have a less than significant impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps, San Mateo County Hazards Maps.</p>				
10.e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?			X	

<p>Discussion: Pursuant to the discussion in Sections 10.a. and 10.b, the proposed project would have a less than significant impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated March 2018).</p>				
10.f. Significantly degrade surface or ground-water water quality?			X	
<p>Discussion: As discussed in Section 10.b, the project site does not contain any wells nor does the project involve any new wells. Thus, the project would pose a less than significant impact.</p> <p>Source: Project Plans, Project Location, San Mateo County Hazards Maps, Sigma Prime Geotechnical Study (dated May 17, 2018).</p>				
10.g. Result in increased impervious surfaces and associated increased runoff?		X		
<p>Discussion: Pursuant to the discussion in Section 10.c. and the cited mitigation measures, the proposed project would create new impervious surfaces but would not result in increased runoff and would have a less than significant impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated March 2018).</p>				

11. LAND USE AND PLANNING. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
11.a. Physically divide an established community?				X
<p>Discussion: The proposed RV park would result in infill development of a parcel on the boundary of an urban area surrounded by existing commercial uses to the north, south, and east, single-family residential uses to the north, and agricultural land to the west. The project does not include a proposal to divide lands or include development that would result in the division of an established community.</p> <p>Source: Project Plans, Project Location.</p>				
11.b. Cause a significant environmental impact due to a conflict with any land use plan, policy or regulation adopted for the purpose of avoiding or mitigating an environmental effect?			X	
<p>Discussion: Staff has reviewed the project and has not found a conflict with applicable policies of the County's Local Coastal Program (LCP) and applicable CCR, MH, and Design Review (DR) District Zoning regulations as discussed in Section 1.f that would cause a significant environmental impact. Based on the discussion provided in Section 1.f, the project is in compliance with all</p>				

applicable Design Review standards. Therefore, the project impact would be less than significant. Source: San Mateo County LCP; County Zoning Regulations.				
11.c. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?			X	
<p>Discussion: The project would not serve to encourage off-site development of presently undeveloped areas. The project scope includes the construction of an RV park, a commercial recreation use. An RV park already exists within the vicinity of the project site, as well as restaurants and stores in the area to serve visitors. The project would be connected to already available municipal water from the Coastside County Water District and sewer services from the Granada Community Services District.</p> <p>Source: Project Plans, Project Location, Coastside County Water District, Granada Community Services District.</p>				

12. MINERAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
12.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				X
<p>Discussion: The proposed project neither involves nor results in any extraction or loss of mineral resources. Therefore, the project poses no impact.</p> <p>Source: Project Plans.</p>				
12.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
<p>Discussion: There are no known mineral resources on the project parcel; therefore, the proposed project would not result in the loss of availability of a locally important mineral resource recovery site as delineated on a local general plan, specific plan, or other land use plan.</p> <p>Source: Project Plans.</p>				

13. NOISE. Would the project result in:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
13.a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			X	
<p>Discussion: The proposed project would not produce any long-term significant noise source. The project would generate short-term noise associated with grading and construction activities. The project site is not adjacent to any noise sensitive uses, such as residential uses, hospitals or schools. Additionally, the short-term noise from grading and construction activities will be temporary, where volume and hours are regulated by Section 4.88.360 (Exemptions) of the San Mateo County Ordinance Code for Noise Control which limits noise sources associated with demolition, construction, repair, remodeling, or grading of any real property to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. The Section prohibits such activities on Sundays, Thanksgiving, and Christmas and limits noise levels produced by construction activities to a maximum of 80-dBA level at any one moment. Therefore, the County's noise regulations would limit potential temporary noise impacts to a less than significant level.</p> <p>Source: Project Plans, Project Location, San Mateo County Ordinance Code.</p>				
13.b. Generation of excessive ground-borne vibration or ground-borne noise levels?		X		
<p>Discussion: Generation of excessive ground-borne vibration or noise levels is expected during grading and construction activities. However, construction activities that typically generate the most severe vibrations, such as blasting and pile driving, would not occur for the project. Mitigation Measure 14 in Section 13.a. is provided to ensure that the impact is less than significant.</p> <p>Source: Project Plans, Project Location, San Mateo County Ordinance.</p>				
13.c. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?			X	
<p>Discussion: The project site is located approximately 0.2 miles east of the eastern boundary of the Half Moon Bay Airport, a public airport operated by the County Department of Public Works. The project site is not located within the airport's noise exposure contours. Thus, visitors to the RV Park would not be exposed to excessive noise levels. Therefore, the project poses a less than significant impact.</p> <p>Source: Project Plans, Project Location, 2014 Final Half Moon Bay Airport Land Use Compatibility Plan.</p>				

14. POPULATION AND HOUSING. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
14.a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?				X
<p>Discussion: The proposed RV park is a visitor-serving use that is accessible using existing roads and would be served by existing utility infrastructure and would therefore not induce any significant population growth. Therefore, the project poses no impact.</p> <p>Source: Project Plans, Project Location.</p>				
14.b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?				X
<p>Discussion: The proposed RV park would be located on an undeveloped parcel; therefore, no existing housing would be displaced. Therefore, the project poses no impact.</p> <p>Source: Project Plans, Project Location.</p>				

15. PUBLIC SERVICES. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
15.a. Fire protection?				X
15.b. Police protection?			X	
15.c. Schools?				X
15.d. Parks?				X
15.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply				X

systems)?				
<p>Discussion: The proposed project is to construct an RV park in a commercial area. The proposed project does not involve and is not associated with the provision of new or physically altered government facilities, nor will it generate a need for an increase in any such facilities. Stays at the RV Park would be limited to 28 days and would not increase the demand for schools in the area or significantly increase the demand for parks in the area, as discussed in Section 16, below. The project may result in increased calls to the Sheriff's Office due to the potential for increased noise, parties, trash, and alcohol consumption associated with commercial recreation uses. Additionally, the applicant proposes to have an on-site manager present at all times to monitor the RV Park and to enforce applicable policies relating to excessive noise, partying, trash, and alcohol consumption. The RV Park will also have an established quiet time between 10:00. P.M. and 8:00 A.M. In addition, the County Sherriff regularly patrols the area and the nearby Pillar Point RV Park. The on-site manager will only contact the Sheriff's Office if they cannot control a given situation.</p> <p>Per the review of the Coastside Fire Protection District, the project would not disrupt acceptable service ratios, response times or performance objectives of the Coastside Fire Protection District. Therefore, the project poses no impact.</p> <p>Source: Project Plans, Project Location, Coastside Fire Protection District.</p>				

16. RECREATION. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
16.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?				X
<p>Discussion: Stays at the RV Park would be limited to 28 days and would not significantly increase the demand for parks in the area. The RV Park would add to existing motels, hotels, camping options in the area and may increase visitation to existing State and local parks. The property owner would be required to pay a Transient Occupancy Tax (TOT Tax) for each stay which would contribute to the County's General Fund which can be used to off-set of the cost of maintaining the County's tourism infrastructure.</p> <p>Source: Project Plans, Project Location.</p>				
16.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
<p>Discussion: Pursuant to the discussion in Section 16.a., the proposed project would have a less than significant impact.</p> <p>Source: Project Plans.</p>				

17. TRANSPORTATION. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
17.a. Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities, and parking?			X	
<p>Discussion: A Traffic Impact Analysis (Hexagon analysis), dated January 18, 2019, was prepared by Hexagon Transportation Consultant, Inc., was peer-reviewed for the County by DKS Associates, and was subsequently found to be sufficient by DKS associates. According to the Hexagon analysis, the proposed development would generate a total of 20 trips (7 incoming and 13 outgoing) during the AM peak hour, 25 trips (16 incoming and 9 outgoing) during the PM peak hour, and 24 trips (11 incoming and 13 outgoing) during the Saturday midday peak hour. Per the Screening Thresholds for Land Use Projects section of the Technical Advisory on Evaluating Transportation Impacts in CEQA document published by the Governor’s Office of Planning and Research, the proposed project “may be assumed to cause a less-than significant transportation impact” because it generates or attracts fewer than 110 trips per day.</p> <p>With respect to compliance with the Department of Public Works’ 2013 Traffic Impact Study Requirements, the project does not meet the threshold of a significant adverse impact on traffic conditions in San Mateo County. The Hexagon analysis determined that under all scenarios with and without the project, the signalized study intersection, Cabrillo Highway (SR 1)/Capistrano Road, would operate at an acceptable level of service (LOS C or better, with each individual movement operating at LOS D or better) during the AM, PM, and Saturday midday peak hours. In addition, the analysis results show that under all scenarios with and without the project, the two-way stop-controlled study intersection would operate at LOS C or better during all peak hours. The analysis indicates that vehicles on the stop-controlled approaches (the Pillar Point Harbor Boulevard and the Shoppes at Harbor Village private driveway) would experience minimal increases in delay with added project traffic.</p> <p>According to the Hexagon analysis, the proposed development would provide compliant standard and emergency access to and circulation around the RV park. The traffic trips (comprised of guests/visitors to) generated by the new RV Park would not result in a significant increase in vehicles on Capistrano Road, and thus would pose no significant safety impact to other vehicles, pedestrians or bicycles. The Hexagon analysis notes that the overall network of sidewalks and crosswalks in the study area has good connectivity and provides pedestrians with safe routes to buses and other points of interest in the vicinity of the project site and that the sidewalks and bikeways in the vicinity of the project site are adequate to serve the proposed RV park.</p> <p>The adequacy of access, along Capistrano Road, to and from the site has been reviewed by both the County’s Department of Public Works and the Coastside Fire Protection District, who have concluded that such access complies with their respective policies and requirements.</p> <p>Source: Project Plans, Project Location, Hexagon Transportation Consultants, Inc. 100 Capistrano Road Harbor Village RV Park Draft Traffic Impact Analysis (dated January 18, 2019), Screening Thresholds for Land Use Projects section of the Technical Advisory on Evaluating Transportation Impacts in CEQA, DKS Associates Draft Peer Review of Princeton Harbor RV Park TIA (dated</p>				

November 30, 2018), Coastside Fire Protection District.				
17.b. Would the project conflict or be inconsistent with CEQA Guidelines Section 15064.3, Subdivision (b) <i>Criteria for Analyzing Transportation Impacts</i> ?				X
<p>Discussion: Per CEQA Guidelines Section 15064.3, Subdivision (c) <i>Applicability</i>, the use of Vehicle Miles Traveled (VMT) will apply statewide on July 1, 2020; however, the project is consistent.</p> <p>Source: CEQA Guidelines Section 15064.3, Subdivision (c) <i>Applicability</i>.</p>				
17.c. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?			X	
<p>Discussion: Pursuant to the discussion in Section 17.a., the proposed project would have a less than significant impact.</p> <p>Source: Project Plans, Project Location, Hexagon Transportation Consultants, Inc. 100 Capistrano Road Harbor Village RV Park Draft Traffic Impact Analysis (dated January 18, 2019), Coastside Fire Protection District.</p>				
17.d. Result in inadequate emergency access?			X	
<p>Discussion: Pursuant to the discussion in Section 17.a., the proposed project would have a less than significant impact.</p> <p>Source: Project Plans, Project Location, Coastside Fire Protection District.</p>				

18. TRIBAL CULTURAL RESOURCES. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
18.a. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:				

i. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k).				X
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Discussion: The project is not listed in a local register of historical resources, pursuant to any local ordinance or resolution as defined in Public Resources Code Section 5020.1(k), the project poses no impact.

Source: Project Location, California Register of Historical Resources.

ii. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in Subdivision (c) of Public Resources Code Section 5024.1. (In applying the criteria set forth in Subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)		X		
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Discussion: A Sacred Lands File and Native American Contacts List Request was sent to the Native American Heritage Commission on March 22, 2019. A record search of the Native American Heritage Commission Sacred Lands File was completed, and the results were negative. Although the project is not subject to Assembly Bill 52 (Tribal Consultation), as the County has no records of written requests for formal notification of proposed projects within the County from any traditionally or culturally affiliated California Native American tribes, the County seeks to satisfy the Native American Heritage Commission’s best practices to consult with California Native American tribes that are traditionally and culturally affiliated with the geographic area of the proposed project to avoid inadvertent impacts on tribal cultural resources. On April 3, 2019, a letter was mailed via certified mail to the tribes identified by the Native American Heritage Commission. To date, no request for consultation was received. Therefore, while the project is not expected to cause a substantial adverse change to any potential tribal cultural resources pursuant to discussion in Sections 5.a. and 5.b., the following mitigation measures are recommended to minimize any potential significant impacts to unknown tribal cultural resources:

Mitigation Measure 15: Should any traditionally or culturally affiliated Native American tribe respond to the County’s issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation of the project, if the project has not yet been implemented.

Mitigation Measure 16: In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

Mitigation Measure 17: Any inadvertently discovered tribal cultural resources shall be treated with

culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

Source: Project Plans, Project Location, Native American Heritage Commission, State Assembly Bill 52, California Historical Resources Information System Review Letter (dated March 26, 2019).

19. UTILITIES AND SERVICE SYSTEMS. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
19.a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?			X	

Discussion: The proposed RV park would connect to and receive sewage services from the Granada Community Services District and water service from the Coastside County Water District. The proposed project does not involve or require any water or wastewater treatment facilities that would exceed any requirements of the Regional Water Quality Control Board. In addition, the project would connect to PG&E infrastructure for electric power.

As discussed in Section 10.a., as the proposed project would result in 1.17 acres of impervious surface and has the potential to generate polluted stormwater runoff during project operation, the permanent project would be required to comply with the County's Drainage Policy requiring post-construction stormwater flows to be at, or below, pre-construction flow rates. The proposed drainage system design, reviewed and approved by the Department of Public Works, would accommodate the proposed project, and ensure pre-construction runoff levels are maintained or reduced. Based on these findings, the project impact is expected to be less than significant.

Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated March 2018).

19.b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?				X
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Discussion: The proposed RV park would have adequate water service connections from the Coastside County Water District. Therefore, the project poses no impact.

Source: Project Plans, Project Location, Coastside County Water District.

19.c. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X
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Discussion: The Granada Community Services District has indicated that they have adequate capacity to serve the project's sanitary sewerage demands. Therefore, the project poses no impact.

Source: Project Plans, Project Location, Granada Sanitary District.

19.d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?			X	
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Discussion: The construction of the project would generate some solid waste, both during construction and after completion (on an ongoing basis typical for that generated by the RV park use). Stays at the RV Park would be limited to 28 days. Similar to all other properties in the Midcoast area, the RV park would receive municipal trash and recycling pick-up service by Recology. The County's local landfill facility is the Corinda Los Trancos (Ox Mountain) Landfill, located at 12310 San Mateo Road (State Highway 92), a few miles east of Half Moon Bay. This landfill facility has permitted capacity/service life until 2034. Therefore, the project impact is less than significant.

Source: San Mateo County Environmental Health Services.

19.e. Comply with Federal, State, and local management and reduction statutes and regulations related to solid waste?			X	
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Discussion: Solid waste generated by the RV Park is expected to be minimal. Stays at the RV Park would be limited to 28 days. The project site would receive solid waste service by Recology. The landfill cited in Section 19.d. is licensed and operates pursuant to all Federal, State and local statutes and regulations as overseen by the San Mateo County Health System's Environmental Health Services. Therefore, the project impact would be less than significant.

Source: County Environmental Health Services.

20. WILDFIRE. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
20.a. Substantially impair an adopted emergency response plan or emergency evacuation plan?				X

<p>Discussion: The project parcel is approximately half a mile south of a state responsibility area classified as a very high fire hazard severity zone. Therefore, the project poses no impact.</p> <p>Source: Project Location, County GIS Maps.</p>					
20.b.	Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?				X
<p>Discussion: Pursuant to the discussion in Section 20.a., the proposed project would not exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire.</p> <p>Source: Project Location, County GIS Maps.</p>					
20.c.	Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?				X
<p>Discussion: The project does not involve a new road, fuel break, emergency water source, power line or other associated infrastructure that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment.</p> <p>Source: Project Location, County GIS Maps.</p>					
20.d.	Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?				X
<p>Discussion: Pursuant to the discussion in Section 20.a., the proposed project will have no impact. Additionally, the site is relatively flat.</p> <p>Source: Project Location, County GIS Maps.</p>					

21. MANDATORY FINDINGS OF SIGNIFICANCE.					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
21.a.	Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause		X		

<p>a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</p>				
<p>Discussion: The project, as proposed and with implementation of all recommended mitigation measures discussed in the previous sections, would result in potential impacts that are less than significant.</p> <p>Source: All Applicable Sources Previously Cited in This Document.</p>				
<p>21.b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)</p>		<p>X</p>		
<p>Discussion: Based on the discussions in the previous sections where the project impact was determined to be less than significant or required mitigation measures to ensure a less than significant impact, the proposed project would not have impacts that are cumulatively considerable. This project would have a less than significant cumulative impact upon the environment and no evidence has been found that the project would result in broader regional impacts. The Big Wave Wellness Center and Office Park, which has not yet started construction, is the only other major project proposed for the area. The proposed RV Park is a smaller scale project which will take significantly less time to construct at approximately 10 to 12 months. Additionally, traffic patterns associated with this recreation use are likely to be different than traffic patterns generated by the Office Park, which may follow standard commute times.</p> <p>Source: All Applicable Sources Previously Cited in This Document.</p>				
<p>21.c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?</p>		<p>X</p>		
<p>Discussion: As discussed in the previous sections, the proposed project is to construct a new RV park. Based on the discussions in the previous sections where project impacts were determined to be less than significant, or mitigation measures were required to result in an overall less than significant impact, the proposed project would not cause significant adverse effects on human beings, either directly or indirectly.</p> <p>Source: All Applicable Sources Previously Cited in This Document.</p>				

RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
Bay Area Air Quality Management District		X	
Caltrans	X		Encroachment Permit
City		X	
California Coastal Commission (CCC)		X	No separate permit required; local decision is appealable to CCC
County Airport Land Use Commission (ALUC)		X	
Other: California Department of Housing and Community Development	X		Special Occupancy Park Permit
Regional Water Quality Control Board	X		Coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity
San Francisco Bay Conservation and Development Commission (BCDC)		X	
Sewer/Water District:		X	
State Department of Fish and Wildlife		X	
State Department of Public Health		X	
State Water Resources Control Board		X	
U.S. Army Corps of Engineers (CE)		X	
U.S. Environmental Protection Agency (EPA)		X	
U.S. Fish and Wildlife Service		X	

<u>MITIGATION MEASURES</u>		
	<u>Yes</u>	<u>No</u>
Mitigation measures have been proposed in project application.	X	
Other mitigation measures are needed.	X	
<p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:</p> <p>Mitigation Measure 1: All exterior lights shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. A photometric plan shall be</p>		

reviewed by the Planning Section during the building permit process to verify compliance with this condition. Prior to the final approval of the building permit, lighting shall be inspected and compliance with this requirement shall be verified.

Mitigation Measure 2: The applicant shall implement dust control measures, as listed below. Measures shall be included on plans submitted for the Building Permit and encroachment permit applications. The measures shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The measures shall include the following:

- a. Water all active construction areas at least twice daily.
- b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
- c. Cover all trucks hauling soil, sand, and other loose materials, or require all trucks to maintain at least 2 feet of freeboard.
- d. Apply water three times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at the construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- e. Sweep daily (preferably with water sweepers) all paved access roads, parking, and staging areas at the construction sites.
- f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- g. Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- h. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour (mph).
- i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- j. Replant vegetation in disturbed areas as quickly as possible.

Mitigation Measure 3: The applicant shall submit an Air Quality Best Management Practices Plan to the Planning and Building Department prior to the issuance of any grading permit “hard card” or building permit that, at a minimum, includes the “Basic Construction Mitigation Measures” as listed in Table 8-1 of the BAAQMD California Environmental Quality Act (CEQA) Guidelines (May 2011). The following Bay Area Air Quality Management District Best Management Practices for mitigating construction-related criteria air pollutants and precursors shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day.
- d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour(mph).
- e. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.

- f. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- g. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
- h. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications.
- i. Minimize the idling time of diesel-powered construction equipment to two minutes.
- j. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Mitigation Measure 4: Pre-Construction Nesting Bird Surveys. Prior to any Project construction-related activities (such as tree removal, grubbing, grading or other land disturbing activities), the Project proponent shall take the following steps to avoid direct losses of active nests, eggs, and nestlings and indirect impacts to avian breeding success:

If construction-related activities occur only during the non-breeding season, between August 31 and February 1, no nest surveys will be required.

During the breeding bird season (February 1 through August 31), a qualified biologist shall survey areas intended for construction-related activities in the Project Area for nesting raptors and passerine birds not more than 14 days prior to any ground-disturbing activity or vegetation removal. Surveys shall include all potential habitats within 250 feet of activities for raptors, and 50 feet of activities for passerines. If results are positive for nesting birds, a qualified biologist shall advise as to whether avoidance procedures are necessary, subject to review and approval by the Community Development Director. These may include implementation of buffer areas (minimum 50-foot buffer for passerines and minimum 250-foot buffer for most raptors) or seasonal avoidance. Once established, buffer areas around active nests may be reduced on a case-by-case basis based on guidance from a qualified biologist. The biologist shall consider factors such as topography, land use, Project activities, visual screening or line-of-site to active nest, and background noise levels when establishing a reduced nest buffer. The biologist shall advise whether full-time biological monitoring should be required during all activities that occur within reduced nest buffers in order to monitor the active nest(s) for signs of disturbance or "take."

Mitigation Measure 5: Environmental Training. All crewmembers shall attend an Environmental Awareness Training presented by a qualified biologist. The training shall include a description of the special-status species that may occur in the region, the project Avoidance and Minimization Measures, Mitigation Measures, the limits of the project work areas, applicable laws and regulations, and penalties for non-compliance. Upon completion of training, crewmembers shall sign a training form indicating they attended the program and understood the measures. Completed training form(s) shall be provided to the Project Planner before the start of project activities.

Mitigation Measure 6: Ground Disturbing Construction Activities. Ground disturbing construction-related activities shall occur during the dry season (June 1 to October 15) to facilitate avoidance of California red-legged frog. Regardless of the season, no construction shall occur within 24 hours following a significant rain event defined as greater than 1/4 inches of precipitation in a 24-hour period. Following a significant rain event and the 24-hour drying-out period, a qualified biologist shall conduct a preconstruction survey for California red-legged frog prior to the restart of any

Project activities.

Mitigation Measure 7: Wildlife Encounters. If any wildlife is encountered during Project activities, said encounter shall be reported to a qualified biologist and wildlife shall be allowed to leave the work area unharmed. Animals shall be allowed to leave the work area of their own accord and without harassment. Animals shall not be picked up or moved in any way.

Mitigation Measure 8: Vegetation Disturbance. Disturbance to vegetation shall be kept to the minimum necessary to complete the Project activities. Prior to the Current Planning Section's approval of the building permit for the project, the applicant shall submit a Biological Protection Plan, subject to Community Development Director review and approval, showing areas to remain undisturbed by construction-related activities and protected with recommended measures (such as temporary fencing with the type to be specified by a qualified biologist). To minimize impacts to vegetation, a qualified biologist shall work with the contractor to designate work areas (including all staging areas) and designate areas to remain undisturbed and protected.

Mitigation Measure 9: Vehicle Fueling and Maintenance. All fueling, maintenance of vehicles and other equipment, and staging areas should occur at least 50 feet from the drainage swale on the northeastern edge of the project area. The edge of the 50 feet buffer zone shall be marked using visible markers by a biologist no sooner than 30 days prior to the start of construction. Equipment operators and fueling crews shall ensure that contamination of the swale does not occur during such operations by restricting all activities to outside of the buffer zone. Prior to the start of construction-related activities, a plan to allow for prompt and effective response to any accidental spills shall be submitted and subject to review and approval by the Community Development Director. All workers should be informed of the importance of preventing spills, and of the appropriate measures to take should a spill occur.

Mitigation Measure 10: Erosion and Sediment Control BMPs. Prior to the Current Planning Section's approval of a building permit, the applicant shall revise and submit the Erosion and Sediment Control Plan, subject to review and approval by the project planner. The plan shall have been reviewed by a qualified biologist prior to submittal to the County. The plan shall include measures to prevent runoff to the drainage swale on the northeastern edge of the project area and demonstrate compliance with other erosion control requirements and mitigation measures. This shall include the installation of silt fences or straw wattles between work areas and any water sources such as the drainage swale, and around any spoil piles (e.g., loose asphalt, dirt, debris, construction-related materials) that could potentially discharge sediment into habitat areas. If straw wattles are used, they shall be made of biodegradable fabric (e.g., burlap) and free of monofilament netting.

Mitigation Measure 11: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director, subject to review and approval, a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 12: The applicants and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately, and the County coroner

shall be notified immediately. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 13: The design of the proposed development (upon submittal of the Building Permit) on the subject parcel shall generally follow the recommendations cited in the Geotechnical Study prepared by Sigma Prime Geosciences, Inc. and its subsequent updates regarding seismic criteria, grading, slab-on grade construction, and surface drainage. Any such changes to the recommendations by the project geotechnical engineer cited in this report and subsequent updates shall be submitted for review and approval by the County's Geotechnical Engineer.

Mitigation Measure 14: At the time of building permit and encroachment permit application, the applicant shall revise as necessary and submit for review and approval the Erosion and Sediment Control Plan such that it shows how the transport and discharge of soil and pollutants from and within the project site would be minimized. The plans shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plans shall include measures that limit the application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for construction.
- d. Within five (5) days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two (2) weeks of seeding/planting.
- e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and to control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet, or to the extent feasible, from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 feet of fence. Silt fences shall be inspected regularly, and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.

- k. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
- l. No erosion or sediment control measures will be placed in vegetated areas.
- m. Environmentally-sensitive areas shall be delineated and protected to prevent construction impacts per Mitigation Measure 10.
- n. Control of fuels and other hazardous materials, spills, and litter during construction.
- o. Preserve existing vegetation whenever feasible.

Mitigation Measure 15: Should any traditionally or culturally affiliated Native American tribe respond to the County's issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation of the project, if the project has not yet been implemented.

Mitigation Measure 16: In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

Mitigation Measure 17: Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

DETERMINATION (to be completed by the Lead Agency).

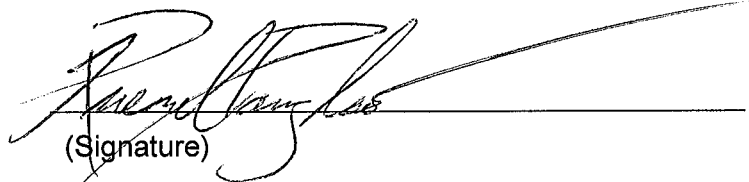
On the basis of this initial evaluation:

I find the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared by the Planning Department.

I find that although the proposed project could have a significant effect on the environment, there **WILL NOT** be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A **MITIGATED NEGATIVE DECLARATION** will be prepared.

X

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.


(Signature)

September 18, 2019

Project Planner

Date

(Title)

RSP:cmc – RSPDD0168_WCV.DOCX

ATTACHMENTS

- A. Location Map
- B. Project Plans/Proposed RV Park Rules
- C. SWCA Biological Resources Evaluation (dated November 2017)
- D. California Historical Resources Information System Review Letter (dated April 10, 2019)
- E. Holman & Associates Archeological Resources Reconnaissance Report for the Harbor Village RV Park Project
- F. Sigma Prime Geotechnical Study (dated May 17, 2018)
- G. Sigma Prime Geosciences, Inc. Harbor Village RV Park Drainage Report (dated March 2018)
- H. Hexagon Transportation Consultants, Inc, 100 Capistrano Road Harbor Village RV Park Draft Traffic Impact Analysis (dated January 18, 2019)
- I. DKS Associates Draft Peer Review of Princeton Harbor RV Park TIA (dated November 30, 2018)
- J. Project EECAP Development Checklist



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E



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DEC 9 7 2016
San Mateo County
Planning Division

Jacobsen & Associates
ARCHITECTS
44 Main City Way, American Canyon, California 94503
Telephone 609 / 736 - 9131 e-mail: info@jacobsenarch.com



PN2017-00320

HARBOR VILLAGE RV PARK

VICINITY MAP



SITE

GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH THE SAN CALIFORNIA BUILDING CODE, SAN CAL. GREEN BLDG CODE, SAN CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA ENERGY CODE, MUNICIPAL CODES AND ALL OTHER APPLICABLE LOCAL ORDINANCES.
2. DO NOT SCALE DRAWINGS. DIMENSIONS AS NOTED PREVAIL. DISCREPANCIES SHALL BE BRUGHT FORTH FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.

SCOPE OF WORK

10 SPACES RV PARKING, 7 TENT SPACES, 40 SUPPLEMENTAL SINGLE STORY RVG PART LAUNDRY AND RESTROOM FACILITY AND SITE WORK.

DRAWING INDEX

- T1 TITLE SHEET
- 90-0 EXISTING & TOPOGRAPHIC SURVEY
- 0-1 EXISTING & DRAINAGE PLAN
- 0-2 DETAILS & SECTION
- 0-3 EROSION & SEDIMENT CONTROL PLAN
- 0-4 BEST MANAGEMENT PRACTICES
- 0-5 SEWER PLAN
- L1 LANDSCAPE PLAN
- L1.1 LANDSCAPE DETAILS
- L1.2 HORIZONTAL WALKWAY PLAN
- L4 LANDSCAPE SITE DEMONSTRATION
- L5 VISUAL ANALYSIS SITE SECTION
- L6.1 IRRIGATION PLAN
- L6.2 IRRIGATION DETAILS
- A1 SITE PLAN
- A2 GROUND FLOOR & ROOF PLAN
- A3 EXTERIOR ELEVATIONS
- E1 PHOTOGRAPHIC PLAN
- 1 HARBOR VILLAGE RV PARK - SIGNAGE
- 2 HARBOR VILLAGE RV PARK - SIGNAGE
- 3 ORIGINAL B&W PHOTO ONE
- 4 ORIGINAL B&W PHOTO TWO
- 5 ORIGINAL B&W PHOTO THREE

PROJECT DATA

OWNER: POINT PILLAR PROJECT DEVELOPERS, LLC
ADDRESS: 100 CAPISTRANO ROAD, HALF MOON BAY, CA
PARCEL #: 047-060-000
LOT SIZE: 16,500 SQ FT
ZONING: C-2
CONTRIBUTION TYPE: TYPE V-B
OCCUPANCY GROUP: RE / U

PROPOSED BUILDING HEIGHT = 10'-0"

FLOOR AREA = 296,441

HARBOR VILLAGE RV PARK
100 CAPISTRANO RD.
HALF MOON BAY, CA

POINT PILLAR PROJECT DEVELOPERS, LLC
HALF MOON BAY, CA

TITLE SHEET

NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	12/1/16
2	ISSUED FOR PERMITS	12/1/16
3	ISSUED FOR PERMITS	12/1/16
4	ISSUED FOR PERMITS	12/1/16
5	ISSUED FOR PERMITS	12/1/16
6	ISSUED FOR PERMITS	12/1/16
7	ISSUED FOR PERMITS	12/1/16
8	ISSUED FOR PERMITS	12/1/16
9	ISSUED FOR PERMITS	12/1/16
10	ISSUED FOR PERMITS	12/1/16

SCALE

SHEET NO.

T1
PLANNING

BASE OF BEARING
 BEARINGS SHOWN HEREIN TAKEN FROM THE PARCEL MAP BY MICHAEL S. ASHLEY.
 BEARING WAS FILED FOR RECORD IN VOLUME 88 PM 7-8, SAN MATEO COUNTY
 RECORDS.

BENCHMARK
 ELEVATIONS SHOWN HEREIN ARE BASED UPON POINT 23 (MEAN SEA LEVEL) DATUM BASED
 UPON A LIFE SURVEY, AND TIES TO THE RED BENCHMARK, TBM 17 - 206, IN HANDS AT
 PRINCETON HARBOR - 405 PFD "WISLICK", ELEVATION 11.43 FEET.

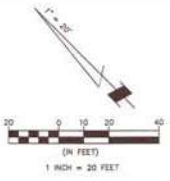
NOTES
 BEST BELIEVED UPON AN OLD METROPOLITAN STEEL COMPANY PRELIMINARY REPORT, CHECK NO 20020,
 AS TITLE REFERENCE FOR ALL ELEVATIONS PLOTTED HEREON. REPORT NOTES E BSH OF ANY
 FOR THE GREAT DEVIATE, WITH RIGHT OF WAY AND CORNER TYPICAL BEING SET IN
 THE LOCATION OF WHICH IS NOT SPECIFIED OF RECORD AND CANNOT BE PLOTTED.

LOCATIONS SHOWN HEREON TAKEN FROM VARIOUS SURFACE EVIDENCE AND SHOULD BE CONSIDERED
 AS APPROXIMATE UNLESS ACTUALLY LOCATED BY THE FIELD SURVEY. THE LOCATION OF
 UTILITIES CAN BE DETERMINED BY EXPOSING THE UTILITIES.

THE LOCATIONS SHOWN HEREON ARE SHOWN EMPIRICALLY WITH SYMBOLS BASED UPON
 TYPICAL QUANTITIES AT GROUND SURFACE. THE ONLY ENTITIES BE BOUND
 SURFACE LOCATIONS AND SIDES OF THE THINGS CAN ONLY BE CONSIDERED APPROXIMATE
 UNLESS OTHERWISE SHOWN ON THE MAP. TIEES OF THIN DIAMETER SIDES OF 4 INCHES OR
 GREATER WERE LOCATED BY THE FIELDWORK.

SURVEY PERFORMED BY: **BST LAND SURVEYORS**
 3741 HANCOCK AVENUE
 SAN MATEO, CALIFORNIA 94403

DATE OF FIELD SURVEY: OCTOBER 7, 2014
 JOB NUMBER: 14-187



- LEGEND**
- FOUND 1/4" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 1/2" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 3/4" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 1" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 1 1/2" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 2" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 3" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 4" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 5" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 6" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 8" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 10" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 12" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 14" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 16" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 18" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 20" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 24" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 30" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 36" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 42" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 48" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 54" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 60" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 66" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 72" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 78" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 84" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 90" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 96" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 102" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 108" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 114" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 120" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 126" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 132" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 138" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 144" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 150" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 156" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 162" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 168" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 174" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 180" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 186" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 192" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 198" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 204" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 210" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 216" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 222" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 228" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 234" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 240" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 246" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 252" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 258" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 264" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 270" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 276" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 282" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 288" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 294" BRASS DISK WITH PUNCH IN MIDDLE
 - FOUND 300" BRASS DISK WITH PUNCH IN MIDDLE

VOLUME 68 PARCEL MAPS 7-8

PARCEL ONE

FOUND 3/4" IRON
 PIN WITH BRASS DISK
 AND 1/4" IRON NAIL
 DOWN 2"

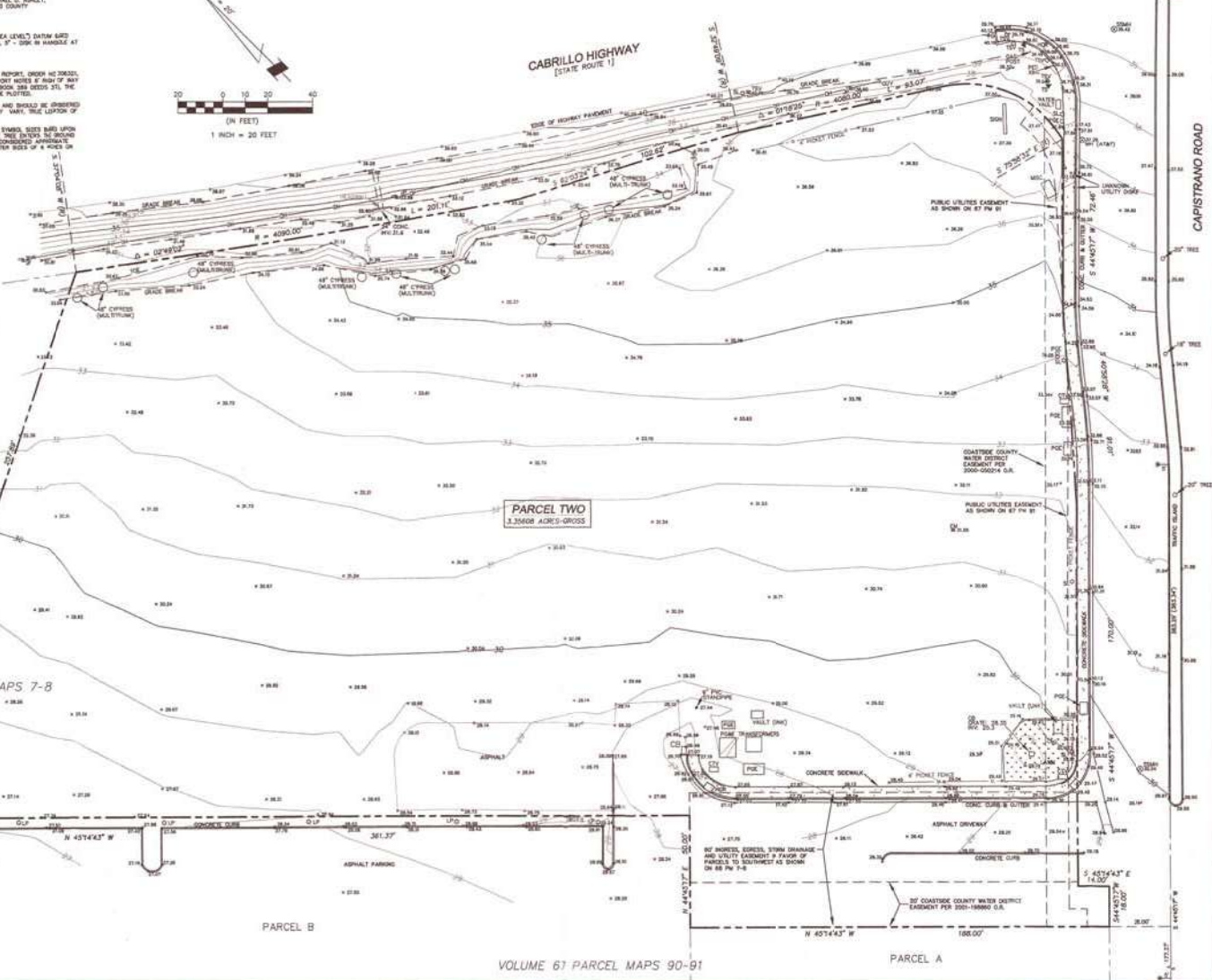
N 45°14'43" W
 341.37'

CONCRETE CURB

APASL PARKING

PARCEL B

VOLUME 61 PARCEL MAPS 90-91



Assessor Parcel Number:
 147-08-430

Prepared For:
 MR. ROBERTS
 1611 MOON BAY, CA 94045

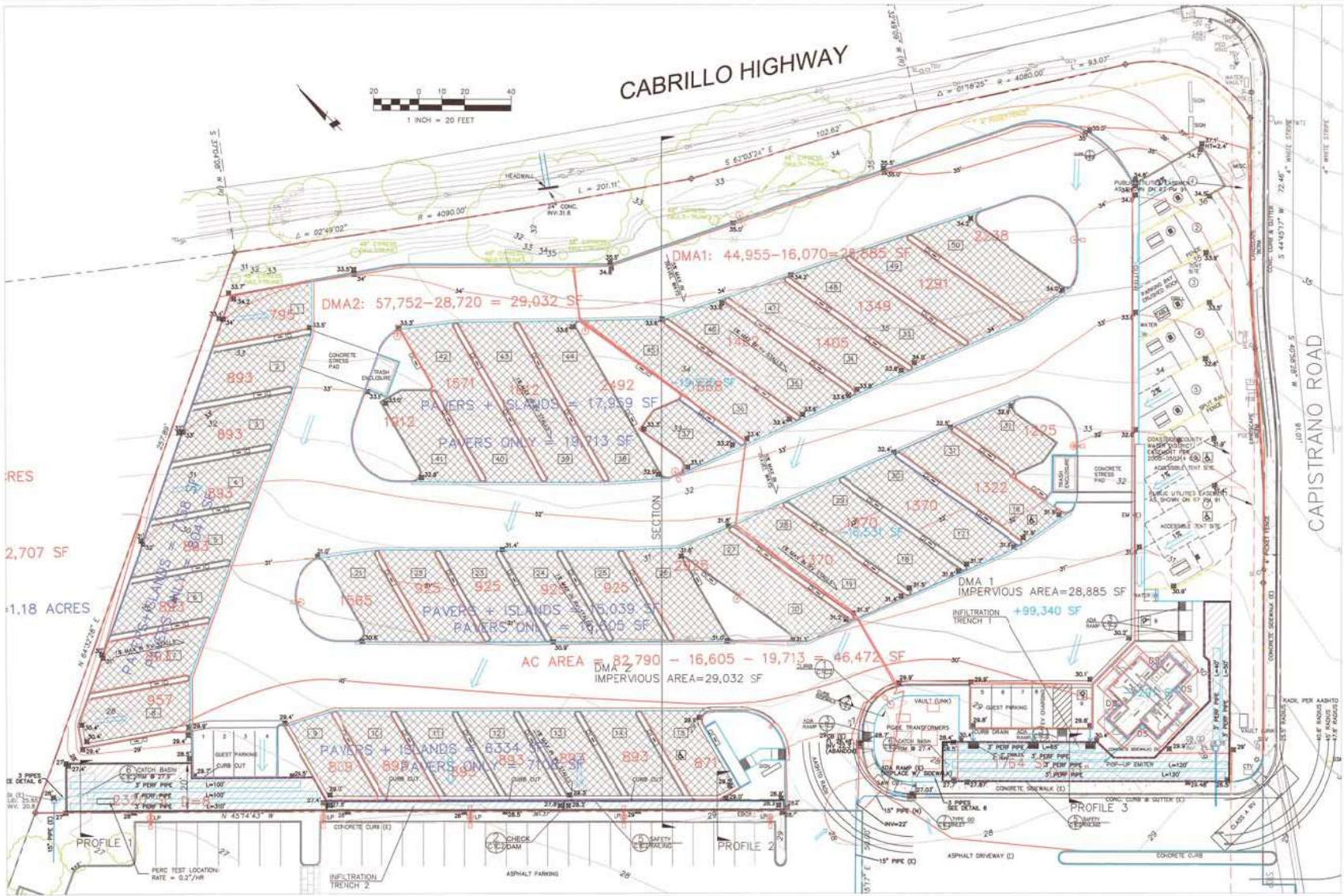
BOUNDARY AND TOPOGRAPHIC SURVEY
 PARCEL TWO - VOLUME 68 PARCEL MAPS 7-8
280 CAPISTRANO ROAD
 HALF MOON BAY, COUNTY OF SAN MATEO, CALIFORNIA

Date: OCT. 2014
 Scale: 1" = 20'
 Contour Interval: 1'
 Drawn: LHL
 Drawing Number:
SU-1
 SHEET 1 OF 1
 Job No: 14-187

CONCET

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 San Mateo County
 Planning Division

PUN 2017-00320



SECTION AND DETAIL CONVENTION



DATE: 11-14-18	DRAWN BY: CMK	SIGMA PRIME GEOTECHNICS, INC.
CHECKED BY: AGD	REV. DATE:	320 PROCESSION AVENUE
REV. DATE:	REV. DATE:	1850 725-3590
REV. DATE:	REV. DATE:	SIGMAPRIME@GMAIL.COM

GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF: RON STEFANIK, MANAGERS TO PILLAR POINT PROJECT DEVELOPERS, LLC.
- TOPOGRAPHY BY 801 SURVEYING, OCTOBER 7, 2014.
- ELEVATION DATUM: NAVD 83.
- THIS IS NOT A BOUNDARY SURVEY.

PROJECT DESIGN DATA

LOT AREA: 146,302 SF (3.33 ACRES)
 EXISTING IMPERVIOUS AREA: 16,270 SF (0.37 ACRES)
 PROPOSED IMPERVIOUS AREA: 51,237 SF (1.17 ACRES)
 NET CHANGE: 34,967 SF ADDED (0.80 ACRES)
 TOTAL % OF IMPERVIOUS COVERAGE: 35%

LEGEND

- EXISTING CONTOUR (E) EXISTING
- PROPOSED CONTOUR (N) NEW, OR PROPOSED
- SPOT ELEVATION (N)
- DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE FLOW
- SDR 35 PVC DRAIN PIPE, DIAMETERS PER DETAIL 5
- INFILTRATION TRENCH
- PERVIOUS CONCRETE (ALL OTHER PAVED AREAS TO BE IMPERVIOUS ASPHALT)

DRAINAGE NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPED AREAS. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR ALL AREAS.
- DRAINAGE FROM PARKING LOT TO OCCUR AS SHEET FLOW, DIRECTED TO INFILTRATION TRENCHES, AS SHOWN.
- RAINWATER RUNOFF FROM PROPOSED ROOF TO BE COLLECTED WITH UTTERS & DOWNSPOUTS & CONNECTED TO SOLID 4" PVC PIPE DIRECTED TO THE ADJACENT INFILTRATION TRENCH, VIA A POP-UP EXTERIOR.
- OVERFLOW FROM INFILTRATION TRENCHES TO BE DIRECTED TO EXISTING STORM DRAIN SYSTEM VIA 8-INCH DIAMETER PIPES, AS SHOWN.

GRADING NOTES

CUT VOLUME, DUE TO AVERAGE 8-INCH STRIPPING DEPTH: 121,800 SF OF AREA TO BE STRIPPED @ 0.8 FEET = 2,025 CY
 ADDITIONAL CUT VOLUME TO REACH PAVING SUBGRADE = 1,500 CY
 NET CUT = 3752 CY X 1.2 = 4500 CY OFF-HAUL

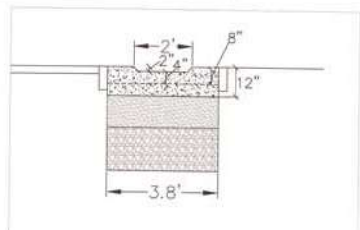
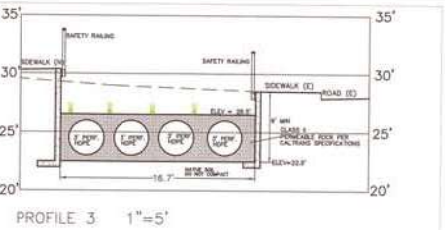
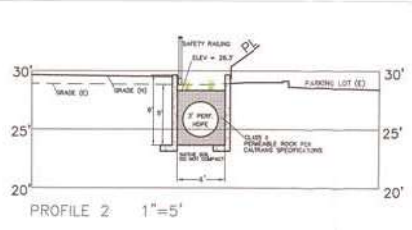
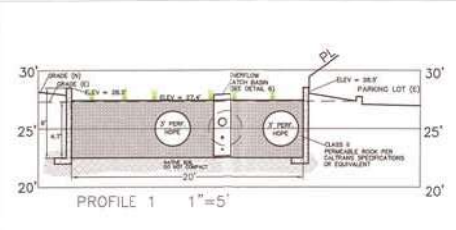
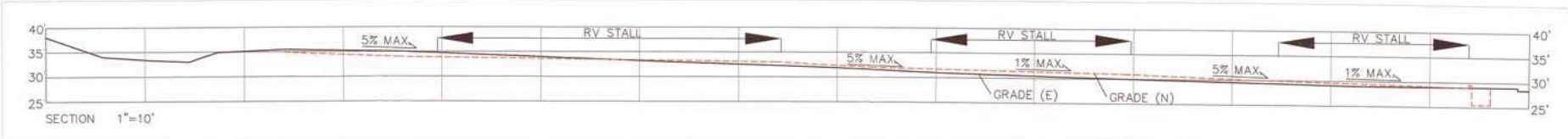
FILL VOLUMES:
 100 CY SOIL
 1150 CY OF BASE/ROCK UNDER ASPHALT
 625 CY OF DRAIN ROCK IN INFILTRATION TRENCHES
 900 CY SOIL IN PLANTER ISLANDS

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GRADING AND DRAINAGE PLAN

100 CAPISTRANO ROAD
 HARBOR VILLAGE
 RV PARK
 APN: 047-081-1430

SHEET
 C-1

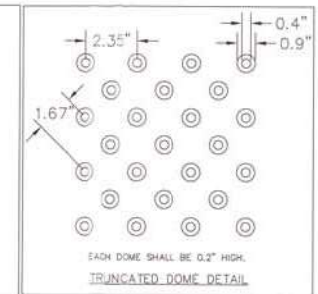
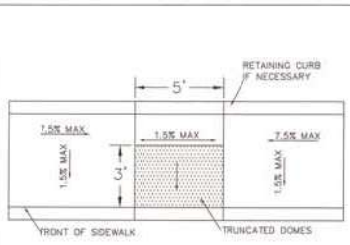
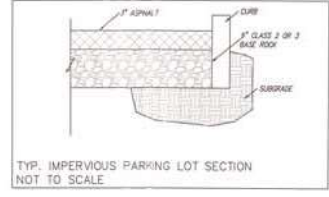
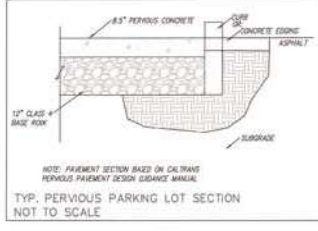


SIDEWALK NOTES

- EXISTING SIDEWALK BETWEEN EXISTING CATCH BASIN AND PROPOSED CATCH BASIN SHALL BE REMOVED AND REPLACED TO MATCH EXISTING, EXCEPT WITH NEW ELEVATIONS AND FLOW DIRECTION (AT LOCATION SHOWN, AT ENTRANCE TO PROPOSED RV PARK)
- NEW SIDEWALK TO BE CONSTRUCTED AT LOCATION SHOWN
- SIDEWALK SHALL BE CONSTRUCTED OF CLASS 'A' CONCRETE.
- WEAKENED PLANE JOINTS SHALL BE CONSTRUCTED ON 10' SPACING, AT ENDS OF CURB RETURNS. MINIMUM JOINT DEPTH SHALL BE 1-1/4" WITH EDGEO FINISH (R1-15F)
- MINIMUM SIDEWALK WIDTH AT HORIZONTAL OBSTRUCTIONS SHALL BE 5'.
- COLOR ADDITIVES OR PATTERN STAMP CONCRETE SHALL NOT BE USED WITHIN PUBLIC RIGHT-OF-WAY UNLESS APPROVED BY THE CITY ENGINEER.
- DURING SIDEWALK RECONSTRUCTION, PEDESTRIAN TRAFFIC SHALL BE DIRECTED VIA DETOUR SIGNS TO A FENCED PATHON THE PROPERTY, JUST INBOUND FROM THE SIDEWALK.
- SIDEWALK RECONSTRUCTION SHALL TAKE NO MORE THAN 7 WORKING DAYS.
- ALL SIDEWALK, CURB, AND GUTTER DAMAGED PRIOR TO OR DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.

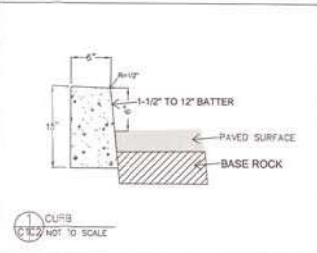
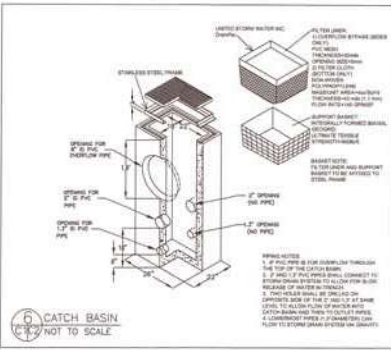
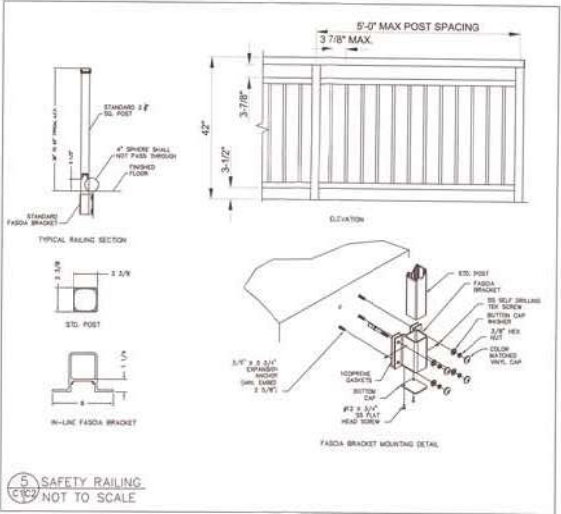
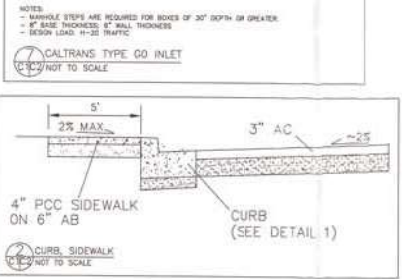
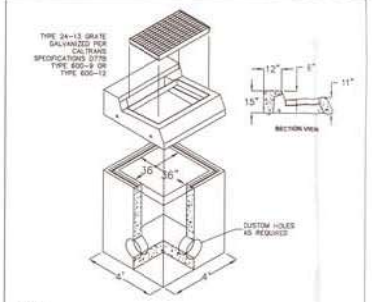
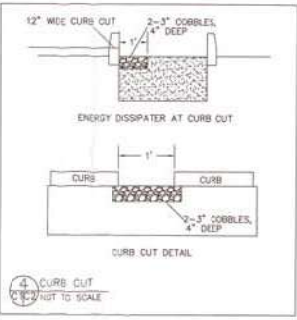
DUST CONTROL NOTES

- Water or cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
- Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- Sweep daily (preferably with water sweepers) on all paved access roads, parking and staging areas at construction areas.
- Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.)
- Limit traffic speeds on unpaved roads within the project parcel to 15 mph.
- Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- The approved plan shall be implemented for the duration of any grading and construction activities that generate dust and other airborne particles.



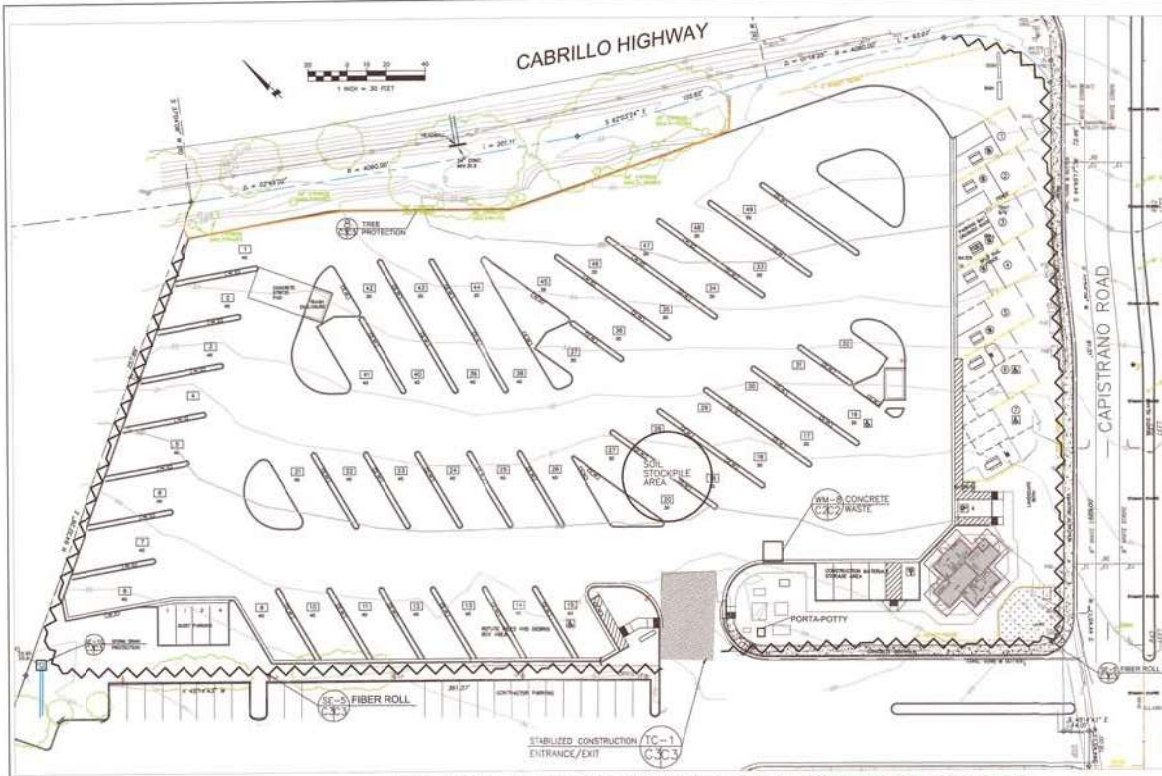
RAMP NOTES

- THE SURFACE OF RAMP SHALL HAVE TRUNCATED DOMES, AS SHOWN. (SEE TRUNCATED DOME DETAIL)
- TRANSITIONS FROM RAMPS TO WALKS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. THE BOTTOM OF THE RAMP SHALL HAVE A 1/2" LP AT 45°.
- INSTALL SLIP DOMES 1/8" O.C. AT EXPANSION JOINTS.
- MINIMUM WIDTH OF RAMP, NOT INCLUDING RETAINING CURBS, SHALL BE 3 FEET.
- BACKFILL MATERIAL IN PLANTERS TO BE PLUSH AND FREE OF CURB.
- SUB-BASE MATERIAL WITHIN 2.5' OF SUBGRADE SHALL BE COMPACTED TO 95%.



DATE: 11-18-18	DRAWN BY: DM	CHECKED BY: AND	REV. DATE:	REV. DATE:	REV. DATE:
Sigma Prime Geotechnical, Inc. SIGMA PRIME GEOTECHNICAL, INC. 302 PRINCETON AVENUE HALF MOON BAY, CA 94019 SIGMAPRIME@GMAIL.COM					

DETAILS SECTION
 100 CAPISTRANO ROAD
 HARBOUR VILLAGE
 RV PARK
 APN: 047-081-430



EROSION CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN,
AFIX AS SHOWN IN DETAIL SE-5

1. GRADING SHALL ONLY BE ALLOWED DURING THE GRADING MONITORING WITH APPROVAL FROM THE COUNTY, PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILE SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE. IF SCHEDULED FOR OFF-HOURL, ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
5. ROCKED CONSTRUCTION ENTRANCE SHALL BE 40 FEET LONG BY 12 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
 - E. CONCRETE WASHOUT AREAS SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.C. ABOVE).
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: FILER POINT PROJECT DEVELOPER, LLC
 TITLE/QUALIFICATION: MANAGER
 PHONE: 800-430-5781
 PHONE: _____
 E-MAIL: RONSTEFANICK@CLOUD.COM

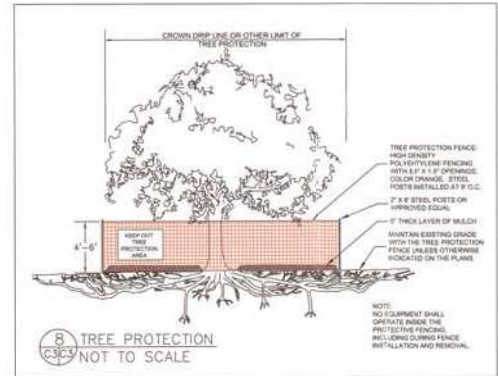
USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

TREE PROTECTION NOTES

1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site



TREE PROTECTION
NOT TO SCALE

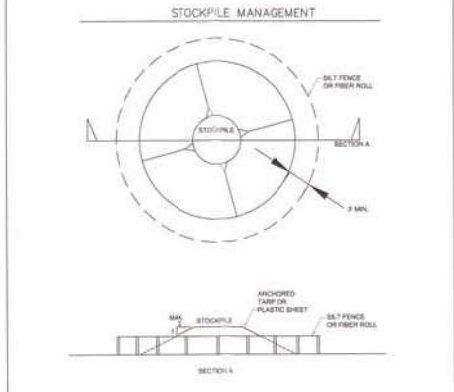
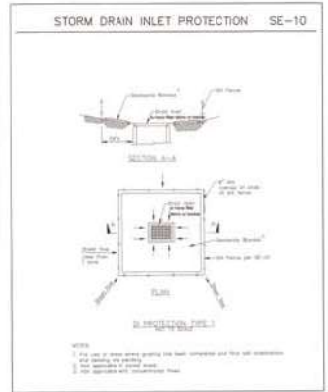
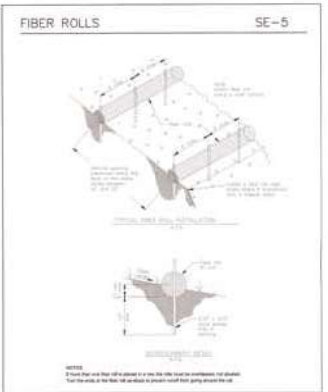
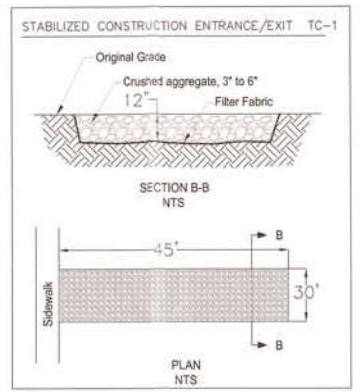
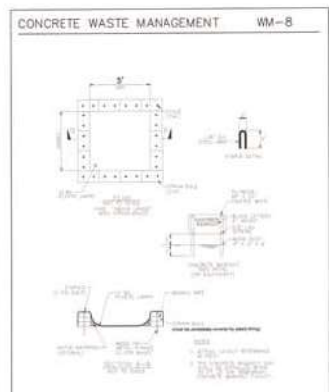


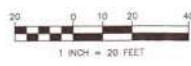
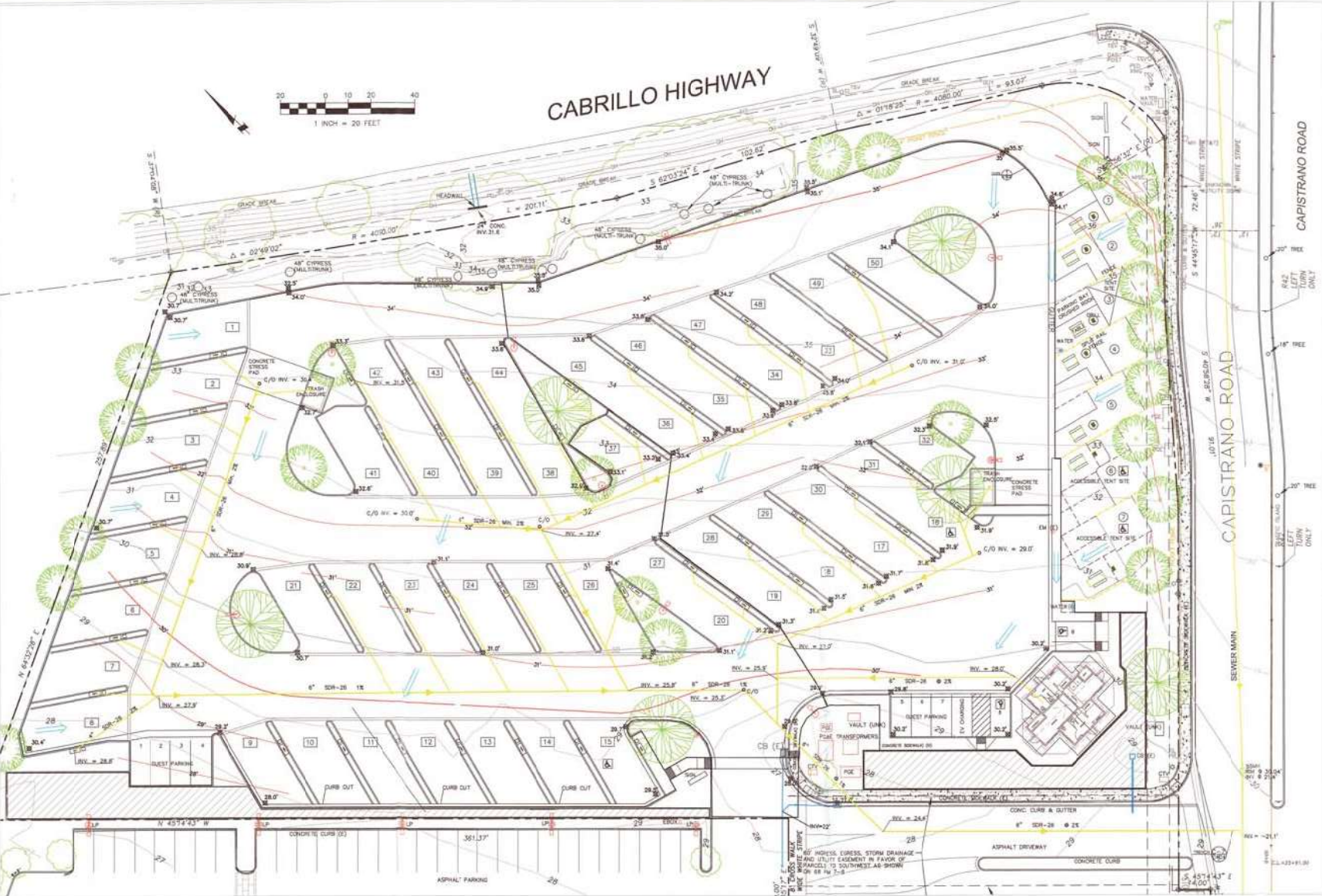
Sigma Prime Construction, Inc.
 SIGMA PRIME CONSTRUCTION, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 SIGMAPRIME@GMAIL.COM

DATE: 11-14-18
 DRAWN BY: ADK
 CHECKED BY: DMK
 REV. DATE: _____
 REV. DATE: _____
 REV. DATE: _____

EROSION AND SEDIMENT CONTROL PLAN AND TREE PROTECTION
 100 CAPISTRANO ROAD
 HARBOR VILLAGE
 RY PARK
 APN: 047-081-430

SHEET
C-3



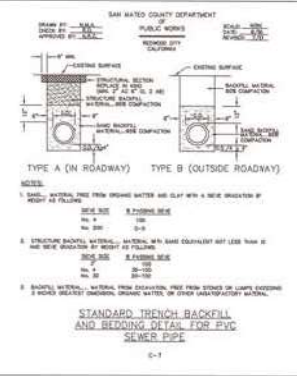


CABRILLO HIGHWAY

CAPISTRANO ROAD

CAPISTRANO ROAD

SECTION AND DETAIL CONVENTION



GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF RON STEFANICK, MANAGER TO HARBOR POINT PROJECT DEVELOPERS, LLC.
2. TOPOGRAPHY BY SST SURVEYING.
3. THIS IS NOT A BOUNDARY SURVEY.

LEGEND

- (N) NEW, OR PROPOSED
- (E) EXISTING
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 31.8' SPOT ELEVATION (N)
- DIRECTION OF SURFACE DRAINAGE FLOW
- STORM-WATER INFILTRATION TRENCH

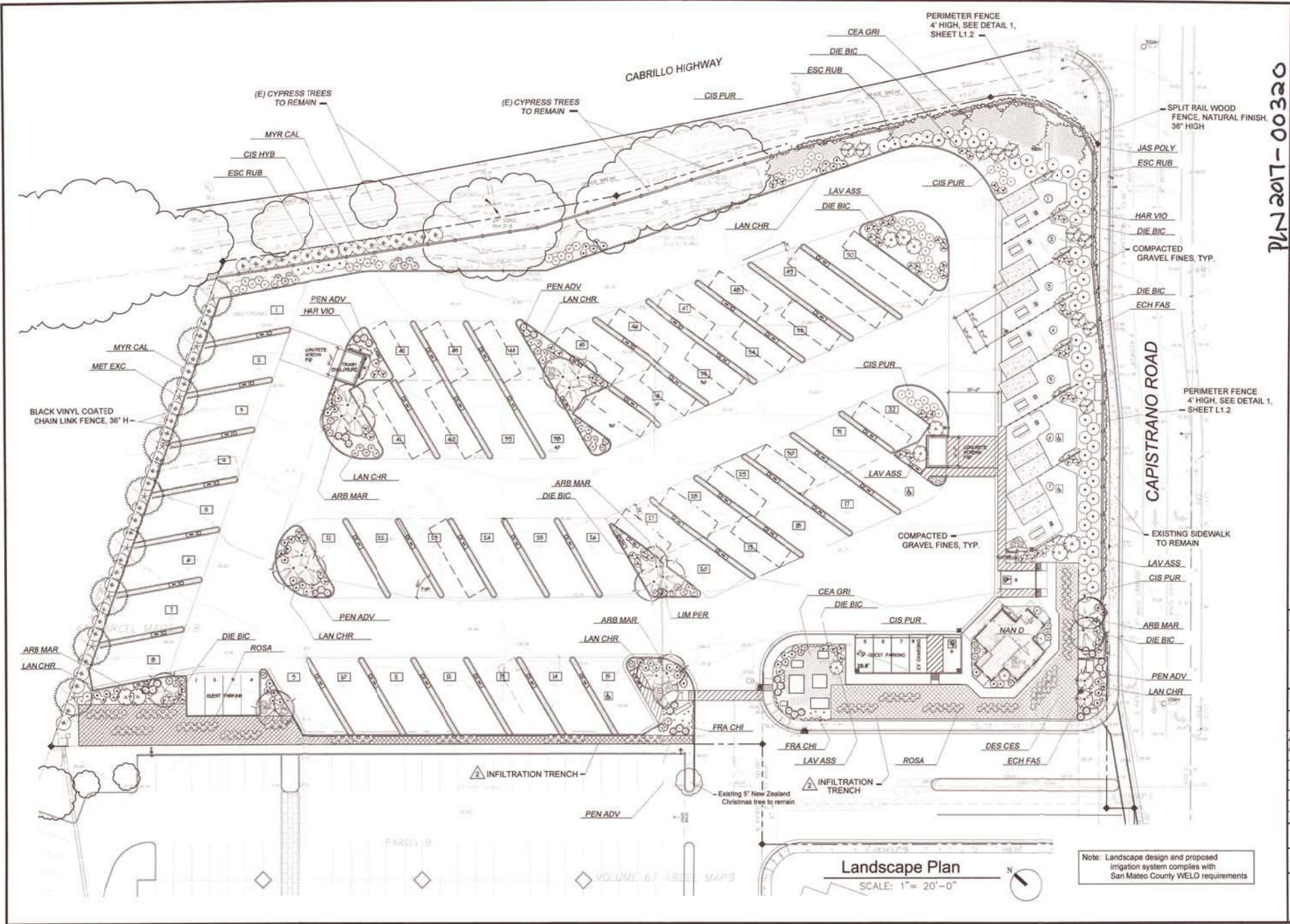
PRELIMINARY SEWER PLAN
NOT FOR CONSTRUCTION

DATE: 12/12/18
DRAWN BY: AZD
CHECKED BY: DMK
REV. DATE:
REV. DATE:
REV. DATE:

Sigma Prime Geotechnics, Inc.
SIGMA PRIME GEOTECHNICS, INC.
325 PRINCETON AVENUE
SAN JOSE, CA 95128
(408) 735-5000
SIGMAPRIME@GMAIL.COM

SEWER PLAN
100 CAPISTRANO ROAD
HARBOR VILLAGE
RV PARK
APN: 047-081-430

SHEET
C-4



PLAN 2017-00320

Land Planning Concepts
 CA Lic. # 92229
 Landscape Architecture
 Environmental Design
 Site Planning
 123 Arguello Street, Suite 200
 Redwood City, California, 94061
 Tel: (650) 346-7645
 Fax: (650) 367-8139
 Email: lpc@lpcglobal.net

RECEIVED
 SHEET 2318
 San Mateo County Planning Division

HARBOR VILLAGE RV PARK
 100 Capistrano Road Half Moon Bay, California

TITLE

Landscape Plan

REVISIONS

Date	Notes
11-10-18	Modify Plants
12-27-18	Soils Planning Infiltration Trench

PROJECT

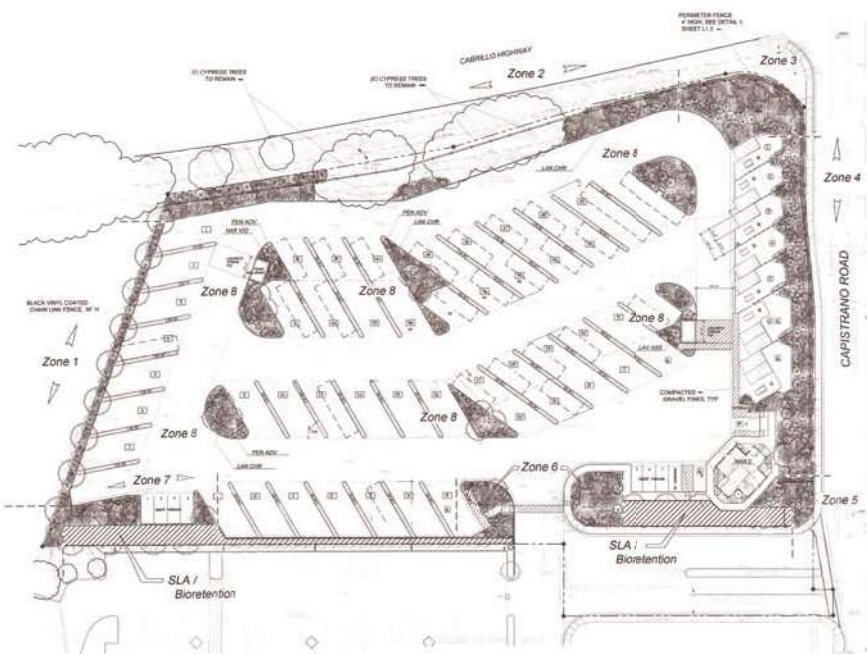
DATE 2-20-18

SHEET #
L 1.1

Landscape Plan
 SCALE: 1" = 20'-0"

Note: Landscape design and proposed irrigation system complies with San Mateo County WELO requirements

VOLUME 63 ARBIS MAPS



PROJECT DESIGN DATA
 LOT AREA: 148,300 SF
 EXISTING IMPERVIOUS AREA: 14,270 SF
 PROPOSED IMPERVIOUS AREA: 105,247 SF
 TOTAL POST-PROJECT IMPERVIOUS AREAS: 119,517 SF
 NET CHANGE: 85,247 SF ADDED
 TOTAL % OF PARCEL COVERAGE: 78.7%

1 HYDROZONE PLAN
 1" = 40'

Maximum Applied Water Allowance (MAWA) & Estimated Total Water Use (ETWU)

Hydrozone	Hydrozone Area (HA) (ft ²)	Plant Factor ² (PF)	Plant Water Use Type	PF x HA (ft ²)	
North Side	Zone 1	1,285	0.30	Low	386
East Side/ highway	Zone 2	4,440	0.30	Low	1,332
Corner w/ Sign	Zone 3	2,960	0.30	Low	888
Capistrano Road	Zone 4	3,960	0.30	Low	1,188
Corner Access Road	Zone 5	748	0.30	Low	224
Entry RV park	Zone 6	1,069	0.30	Low	321
Corner NW	Zone 7	1,500	0.30	Low	450
Interior Planters	Zone 8	4,760	0.30	Low	1,428
	Zone 9				-
	Zone 10				-
	Zone 11				-
	Zone 12				-
	Zone 13				-
	Zone 14				-
	Zone 15				-
	Zone 16				-
	Zone 17				-
	Zone 18				-
	Zone 19				-
	Zone 20				-
	Zone 21				-
Hydrozone Area (HA) (& PF x HA)		20,722			6,217
Special Landscape Area (SLA)		4,265	1.00	High	4,265
Total Landscape Area (TLA)		24,987			10,482
Irrigation Efficiency (IE) Drip		0.81			
			MAWA ¹ =	432,960.87 gal.	
				57,878.64 cu. ft.	
				578.79 HCF	
				1.33 acre-ft.	
				0.43 millions of gal.	
			ETWU ³ =	327,494.79 gal.	
				43,779.83 cu. ft.	
				437.80 HCF	
				1.01 acre-ft.	
				0.33 millions of gal.	
ETWU complies with MAWA					
Plant Water Use Types					
Very Low	0 - 0.1				
Low	0.1 - 0.3				
Medium	0.4 - 0.6				
High	0.7 - 1.0				
¹ (E _T) x (0.82) x [(0.55 x HA) + (0.45 x SLA)], where E _T = 44.24					
² (E _T) x (0.82) x [PF x HA] + SLA					

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 CA Lic. # 802824
 Landscape Architecture
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 923 Arguello Street, Suite 200
 Redwood City, California 94061
 Tel: (650) 346-7645
 Fax: (650) 367-8159
 Email: lucas@lpcglobal.net

HARBOR VILLAGE RV PARK
 100 Capistrano Road Half Moon Bay, California

TITLE
Hydrozone MWELO Plan

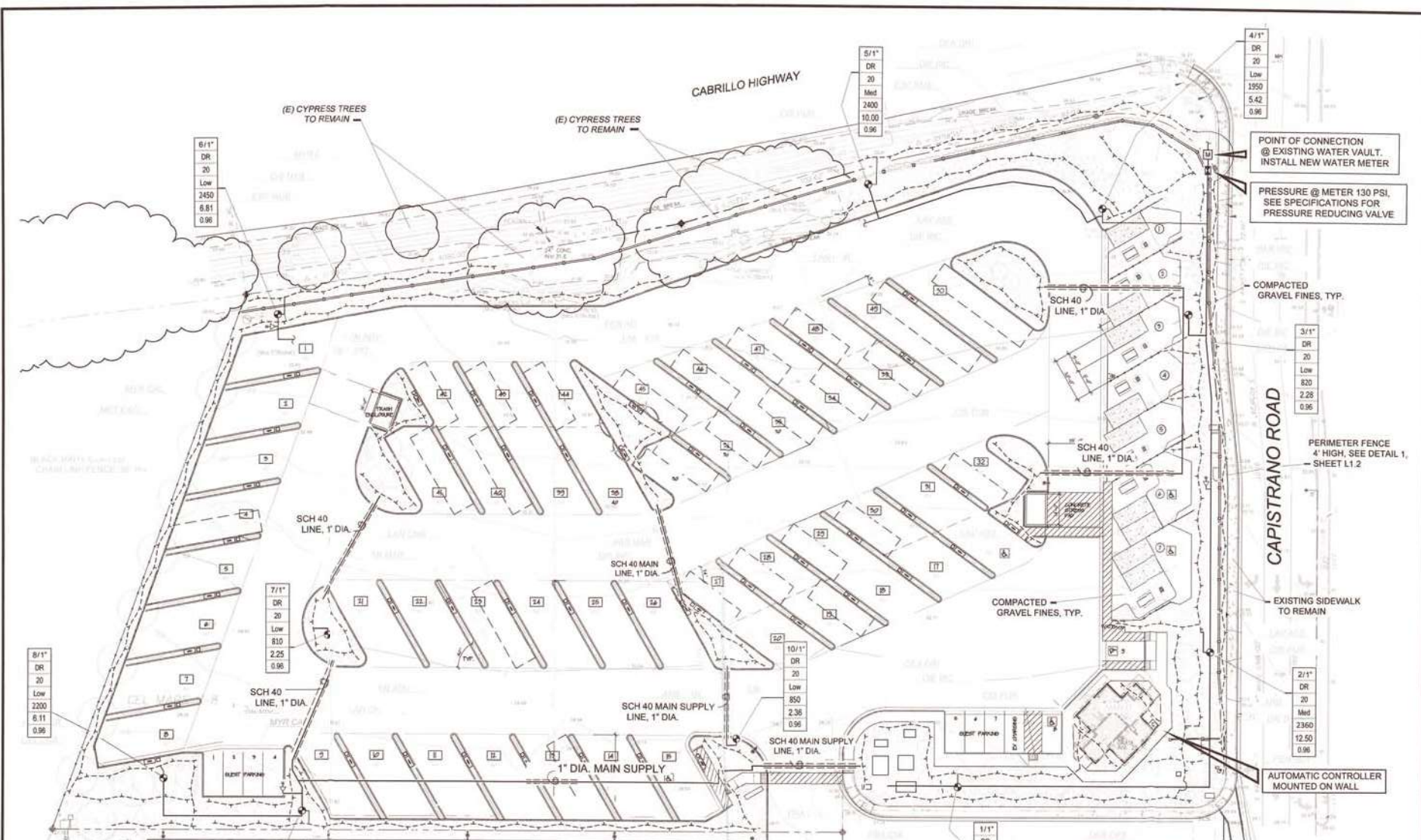
REVISIONS

Date	Notes

PROJECT

DATE: 2-20-18

SHEET #
L 3.1



6/1\"/>

7/1\"/>

9/1\"/>

5/1\"/>

10/1\"/>

1/1\"/>

4/1\"/>

3/1\"/>

2/1\"/>

HYDROZONE TABLE				
No.	Hydrozone	Zone	Area (SF)	Water Use
1	Entry RV Park	Zone 1	3880	Med
2	Capistrano Road	Zone 2	2360	Med
3	Interior Planter Area C	Zone 3	820	Low
4	Highway Corridor w/ Sign	Zone 4	1950	Med
5	Loop Road Corridor	Zone 5	2400	Low
6	East Loop Road Planter	Zone 6	2450	Low
7	Interior Planter Area A	Zone 7	810	Low
8	North Side Planter	Zone 8	2200	Low
9	West Parking Lot Planter	Zone 9	2750	Med
10	Interior Planter Area B	Zone 10	850	Low

Key	Description
2/x"	Valve No / Water Zone / Size
SP/DR	Spray Zone / Drip Zone
20	PSI
LOW	Water Use Zone
600	Zone square feet
4.8	GPM Discharge Gallons per Minute
0.96	Application Rate/ Inches per Hour

Irrigation Plan

SCALE: 1" = 20'-0"

IRRIGATION SYSTEM - GENERAL NOTES

- CONTRACTOR SHALL LOCATE UNDERGROUND SERVICES PRIOR TO EXCAVATING.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE CLOCK WATERING CYCLE AND DURATION TO PREVENT RUN-OFF. HEADS SHALL BE ADJUSTED SO THAT SPRAY DOES NOT HIT EXISTING TREE TRUNKS.
- PLAN IS DIAGRAMATIC. CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY TO FACILITATE INSTALLATION.
- CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING THAT ACCURATELY SHOWS FINAL SYSTEM AND PIPING LAYOUT.

Land Planning Concepts
 CA Lic. # 95234
 Landscape Architecture
 Environmental Design
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 103 Argente Road, Suite 200
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 Email: lpc@lpcglobal.net



HARBOR VILLAGE RV PARK
 100 Capistrano Road Half Moon Bay, California

TITLE

IRRIGATION PLAN

REVISIONS

Date	Notes
9-23-18	Modify layout & specs per PC comments 8-15-18
12-27-18	Modify Valve Circles 1 & 2 Controller Location BPO Symbol

PROJECT

DATE July 9, 2018

SHEET #

L 6.1

Estimated Total Water Use ETWU

Hydrozone#/Planting Description	Plant Factor (PF)	Reference Evapotranspiration (Eto)		ETWU requirement	MAWA requirement	ETWU requirement	Estimated Total Water Use (ETWU)
		ETWU requirement	ETWU requirement				
		33.70 half moon bay					
Regular Landscape Areas							
1) Entry RV Park	0.5	Drip	0.81	0.617	3,880	2,395.06	50,042
2) Capistrano Road	0.5	Drip	0.81	0.617	2,360	1,456.79	30,438
3) Interior Planters Area C	0.3	Drip	0.81	0.370	820	303.70	6,346
4) Highway Corner w/ Sign	0.5	Drip	0.81	0.617	1,950	1,203.70	25,150
5) Loop Road Corner	0.2	Drip	0.81	0.247	2,400	592.59	12,382
6) East Loop Road Planter	0.3	Drip	0.81	0.370	2,450	907.41	18,959
7) Interior Planters Area A	0.3	Drip	0.81	0.370	810	300.00	6,268
8) North Side Planter	0.3	Drip	0.81	0.370	2,200	814.81	17,025
9) West Parking Lot Panter	0.5	Drip	0.81	0.617	2,750	1,697.53	35,468
10) Interior Planters Area B	0.3	Drip	0.81	0.370	850	314.81	6,578
				Totals	20,470	9,986.42	0
Special Landscape Areas (SLA): Recycled Water							
1) low water use plants				1	0	0	0
2) medium water use plants				1	0	0	0
3) medium water use plants				1	0	0	0
				Totals	0	0	0
				Estimated Total Water Use (ETWU)			208,656
				Maximum Allowed Water Allowance (MAWA)			299,390.13

Maximum Applied Water Allowance MAWA

$$(Et) (0.62) [0.7 \times LA] + (0.3 \times SLA) = 299,390.13$$

Irrigation Legend

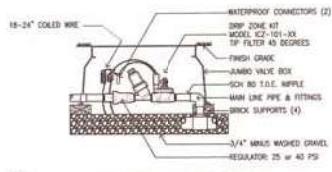
SYMBOL	MODEL	DESCRIPTION
	700-OMR-100 SERIES/ LT-T SERIES	IRRITROL REMOTE CONTROL VALVE w/ PRESSURE REGULATION w/ 1" PVC BALL VALVE
	975XL2-1	WILKINS LEAD-FREE REDUCED PRESSURE BACKFLOW PREVENTER
	MC-24E PROMAX-UX	IRRITROL 24 STATION M-C-E CONTROLLER - WALL MOUNT PRO MAX UNIVERSAL MAINTENANCE REMOTE KIT
		DRIP TUBING TORO T-EH01645 FLUE STRIPE HOSE WITH TORO LOC-EZE FITTINGS. 4" COVER. DISTRIBUTION TUBING. TORO EHM43P-010 1/4" HOSE.
		HOSE BIBB. 3/4" BRASS ON 18" H GALV RISER

IRRIGATION INSTALLATION NOTES

- CONTRACTOR SHALL LOCATE UNDERGROUND SERVICES PRIOR TO PERFORMING ANY EXCAVATION.
- AN APPROVED BACKFLOW PREVENTER SHALL BE INSTALLED PER LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. THE BACKFLOW DEVICE SHALL BE A REDUCED PRESSURE DOUBLE CHECK TYPE INSTALLED IN A LOCKABLE ENCLOSURE. THE BACKFLOW DEVICE SHALL BE LOCATED IN THE VICINITY OF THE WATER METER, IF POSSIBLE.
- A MANUAL SHUT OFF VALVE SHALL BE REQUIRED, AS CLOSE AS POSSIBLE TO THE POINT OF THE WATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY OR ROUTINE REPAIR.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR IN EXCESS OF RECOMMENDED OPERATING PRESSURE OF SPECIFIED IRRIGATION DEVICES.
- MAIN SUPPLY LINES SHALL BE PVC SCHEDULE 40, SIZE AS NOTED, BURNED 18" DEEP. LATERAL SUPPLY LINES SHALL BE BURIED 12" DEEP. FLEXIBLE PIPE TUBING SHALL BE BURIED 4" DEEP.
- REMOTE CONTROL VALVES SHALL BE 1" WHEN CONNECTED TO MAIN SUPPLY LINES OF SAME SIZE, AND SUPPLY A TOTAL NUMBER OF HEADS OR EMITTERS NOT TO EXCEED 14 GALLONS PER MINUTE DISCHARGE FOR EACH CIRCUIT. FOR MAIN SUPPLY LINES OF 1-1/2" DIAMETER, THE CONTRACTOR MAY CHOOSE AS AN OPTION INSTALLING A 1-1/2" RCV, WHICH WILL HAVE CIRCUIT FLOW RATE NOT TO EXCEED 30 GPM. VALVES SHALL BE MANUFACTURED BY TORO OR HUNTER AND INSTALLED UNDERGROUND IN WEATHER-PROOF VALVE BOXES.
- DRIP IRRIGATION CIRCUITS SHALL BE FURNISHED WITH A PRESSURE REGULATING DEVICE IF THE WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES. AN IN-LINE FILTER SHALL BE INSTALLED ADJACENT TO THE CONTROL VALVE. THE END OF EACH SUPPLY CIRCUIT SHALL BE FURNISHED WITH A BALL VALVE.
- AN INTEGRATED CHECK VALVE SHALL BE INSTALLED INTO THE LOWEST SPRINKLER HEAD ON EACH CIRCUIT. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- CONTRACTOR SHALL FLUSH ALL PIPES PRIOR TO INSTALLING SPRINKLER HEADS AND PRESSURE TEST THE MAIN SUPPLY LINE. A THOROUGH CHECK FOR ANY LEAKS SHALL BE PERFORMED. THE ENTIRE SYSTEM SHALL BE CHECKED FOR LEAKS PRIOR TO BACKFILLING OF TRENCHES.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE CLOCK WATERING CYCLE AND DURATION TO PREVENT RUN-OFF. HEADS SHALL BE ADJUSTED SO THAT SPRAY DOES NOT HIT EXISTING TREE TRUNKS.
- THIS PLAN IS DIAGRAMATIC. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NECESSARY TO ENSURE PROPER COVERAGE AND WATERING TO EACH PLANT. A SUFFICIENT NUMBER OF SPRINKLER HEADS AND EMITTERS SHALL BE FURNISHED AT THE CONTRACTOR'S EXPENSE TO ACHIEVE THIS.

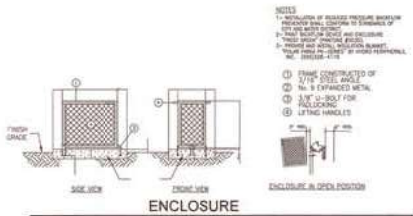
COMPLIANCE NOTES

- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES. T
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT BY A CERTIFIED IRRIGATION AUDITOR SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION AND SUBMITTED WITH THE CERTIFICATE OF COMPLETION.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.



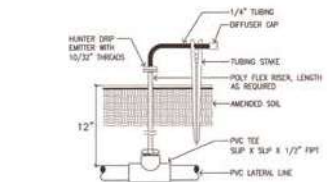
3 REMOTE CONTROL VALVE

NTS



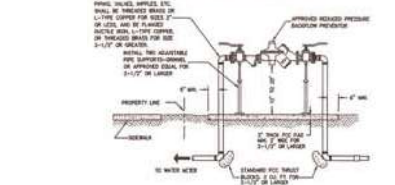
2 ENCLOSURE

NTS



4 DRIP EMITTER

NTS



1 AUTOMATIC CONTROLLER

Not to Scale

Land Planning Concepts

CA Lic. # 93334
Landscape Architecture
Environmental Design
Site Planning
122 Argente Street, Suite 209
Redwood City, California, 94063
Tel: (650) 346-7645
Fax: (650) 367-8139
Email: lsc@lscglobal.net



HARBOR VILLAGE RV PARK
100 Capistrano Road Half Moon Bay, California

TITLE

IRRIGATION DETAILS

REVISIONS

Date	Notes
11-10-18	Revise WELO Compliance Info
12-27-18	Add from Bids to Legend & Add ETWU Calculations

PROJECT

DATE July 9, 2018

SHEET

L 6.2

COUNTY OF SAN MATEO LANDSCAPE WATER USE STATEMENT

PROJECT NAME: HARBOR VILLAGE RV PARK
PROJECT ADDRESS: 100 CAPISTRANO ROAD PRINCETON CA

PREPARED BY: BRUCE A. CHAN CA Lic. #2324
923 ARGUELLO STREET, SUITE 200
REDWOOD CITY CA 94083
(650) 346-7645 (650) 367-8139 (FAX)
lsc@lscglobal.net

"I have complied with the criteria of the ordinance and applied them accordingly for efficient use of water in the irrigation design plan."

Signed:

RECEIVED

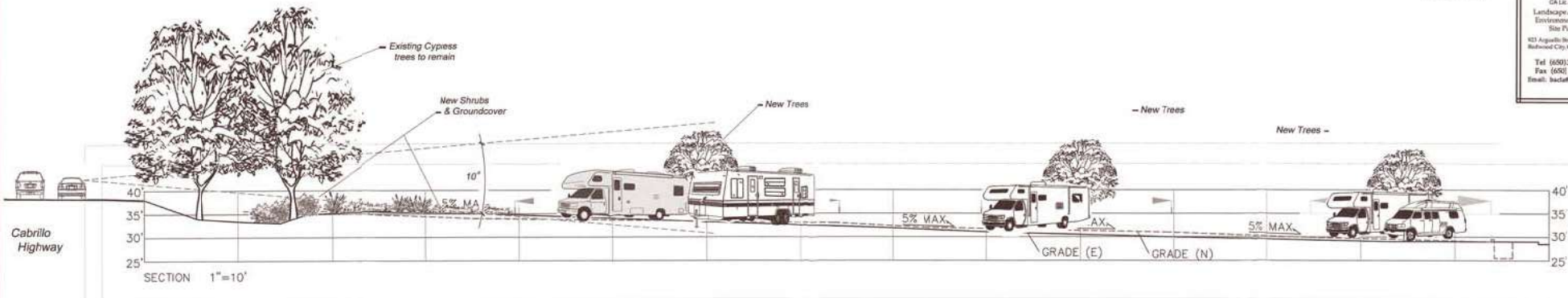
NOV 17 2018

San Mateo County
Planning Division

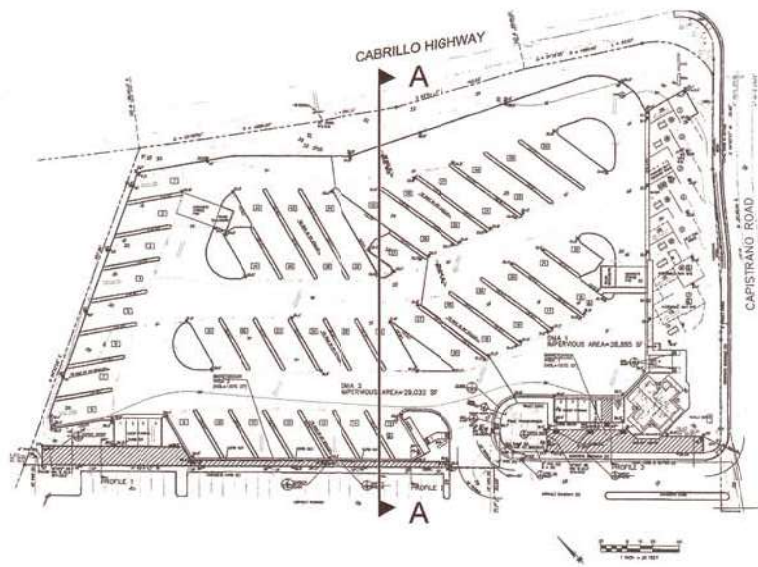
Land
Planning
Concepts

CA Lic # 002324
Landscape Architecture
Environmental Design
Site Planning

427 Arguello Street, Suite 200
Redwood City, California 94063
Tel: (650) 346-7643
Fax: (650) 367-8139
Email: luc@lpcglobal.net



1 Site Section A - A
1" = 10'0"



2 Site Plan
reference only NTS

PLN2017-00320

HARBOR VILLAGE RV PARK
100 Capistrano Road Half Moon Bay, California

TITLE	REVISIONS		DATE
	Date	Notes	05-4-18
Visual Analysis Site Section			SHEET #
			L 5.1

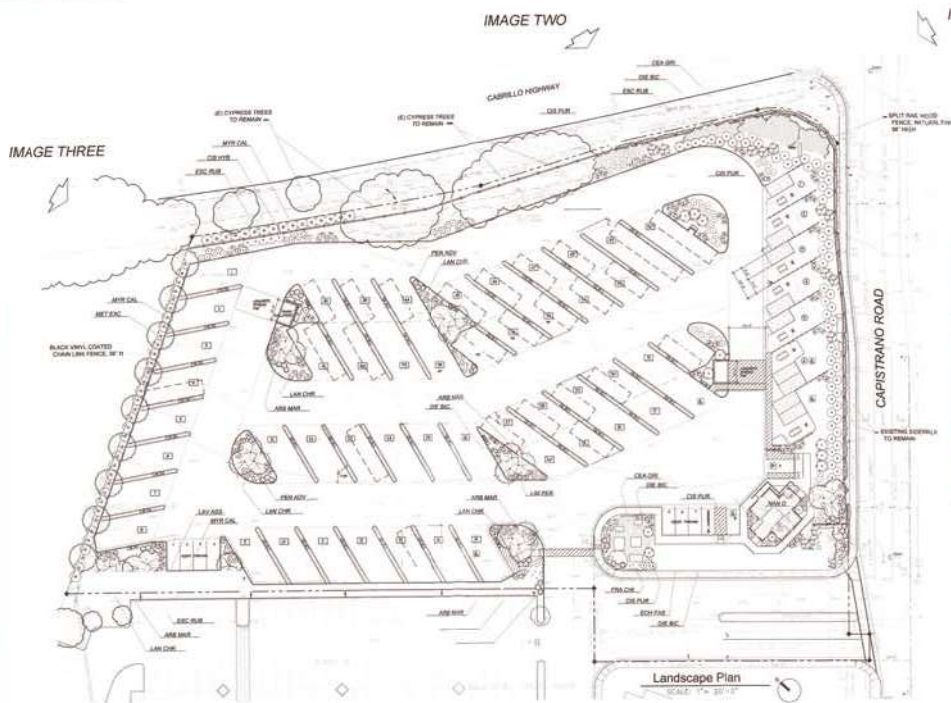


Image One



Image Three View from Highway One, southbound, w/ landscape screening

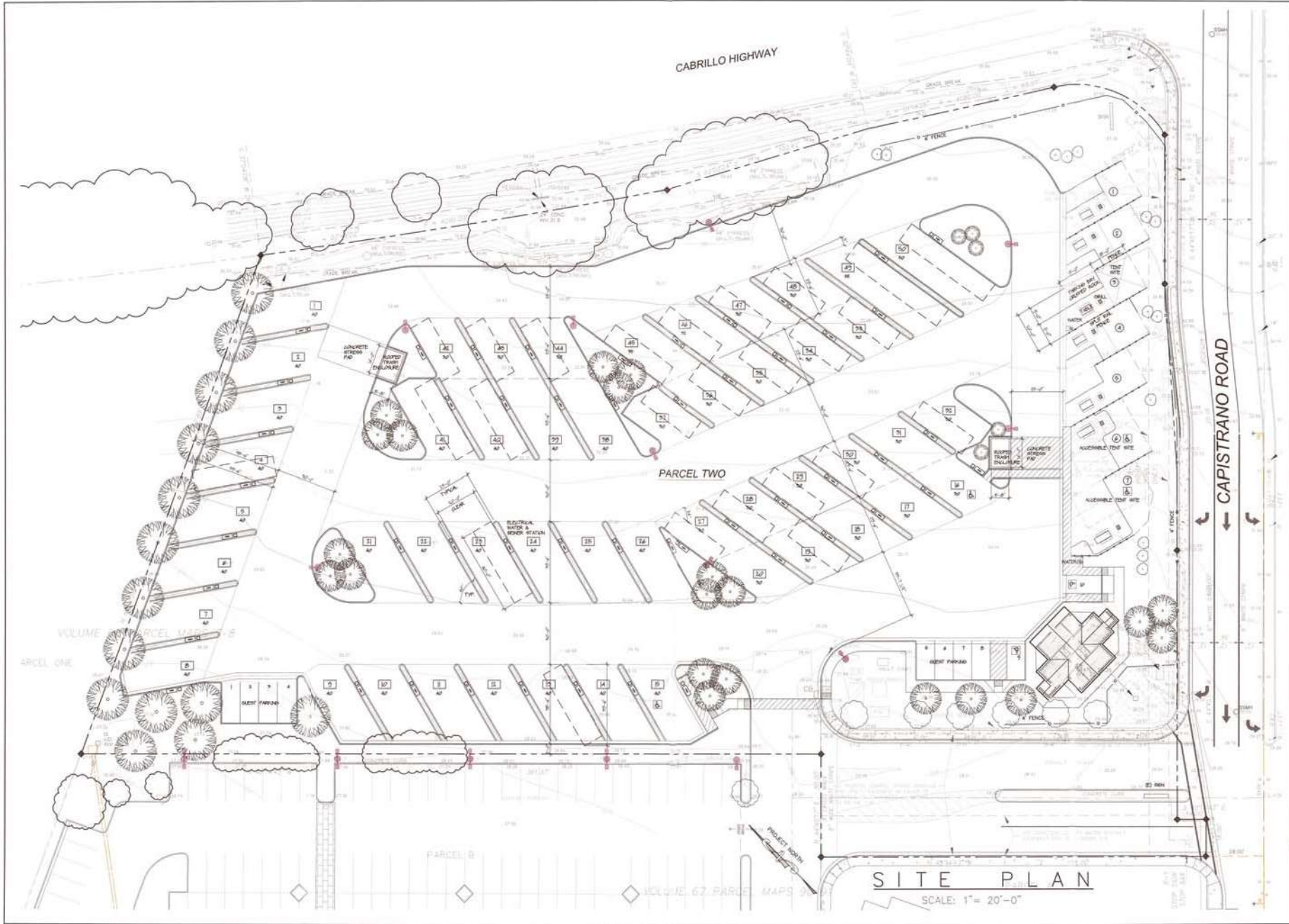


Image Two

Land Planning Concepts
 CA Lic. # 002754
 Landscape Architecture
 Environmental Design
 Site Planning
 427 Arguello Street, Suite 200
 Redwood City, California 94063
 Tel: (650) 346-7645
 Fax: (650) 367-8139
 Email: lpc@lpcglobal.net

HARBOR VILLAGE RV PARK
 100 Capistrano Road Half Moon Bay, California

TITLE	
Landscape Site Renderings	
REVISIONS	
Date	Notes
PROJECT	
DATE	Jan 3, 2018
SHEET #	L 4.1



SITE PLAN
SCALE: 1" = 20'-0"

Jacobsen & Associates
ARCHITECTS
43 Marko Court, West, American Canyon, California 94930
Telephone 509 / 724 - 5131 • www.jacobsenarchitect.com

REGISTERED ARCHITECT
STATE OF CALIFORNIA

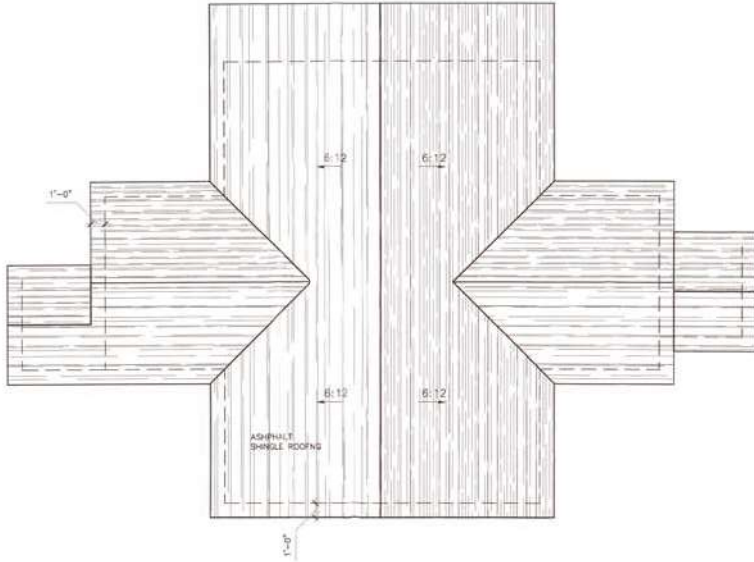
HARBOR VILLAGE RV PARK
100 CAPISTRANO RD.
HALF MOON BAY, CA

POINT PILLAR PROJECT DEVELOPERS, LLC
HALF MOON BAY, CA

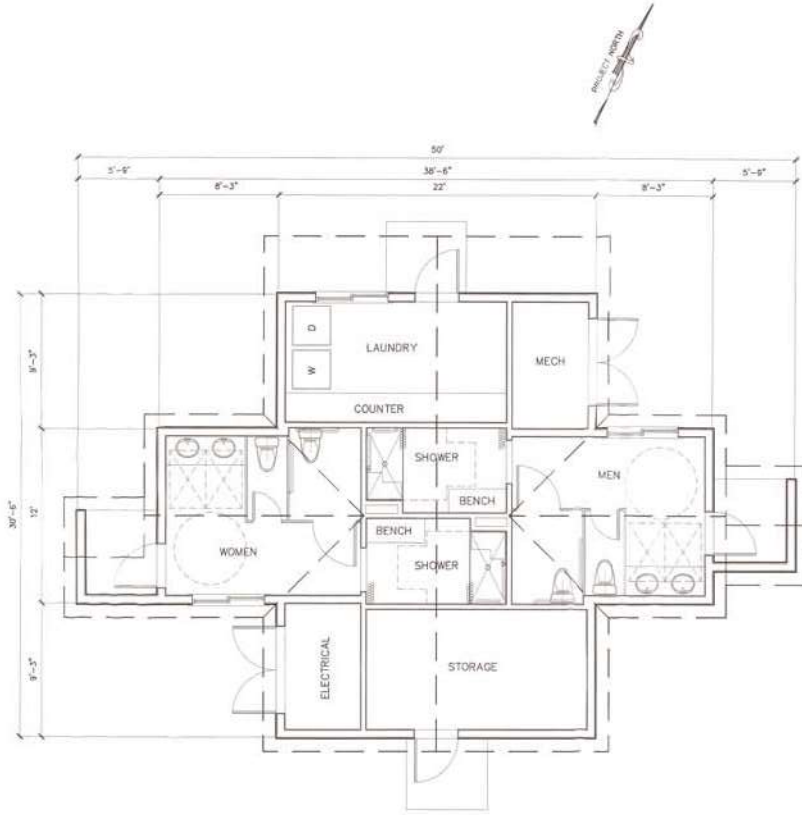
SHEET TITLE		DATE	
PROJECT NO.	17489	DATE	
SCALE	1" = 20'-0"	DATE	
SHEET NO.	A1	DATE	11-14-17

NO. BUILDINGS
NO. PARKING SPACES
FILE NAME
CHECKER
DATE

A1
PLANNING



ROOF PLAN



GROUND FLOOR PLAN

Jacobsen & Associates
ARCHITECTS

53 Maple Glen Way, American Canyon, California 94933
Telephone: (415) 778-3331 Fax: (415) 778-3332



HARBOR VILLAGE RV PARK
100 CAPISTRANO RD.
HALF MOON BAY, CA

POINT PILLAR PROJECT DEVELOPERS, LLC
HALF MOON BAY, CA

SHEET TITLE: GROUND FLOOR & ROOF PLAN

PROJECT NO.	177489	DATE	
ISSUED	04/15/17	REVISIONS	
DESIGNED BY	DN	DATE	
CHECKED BY		DATE	11-14-17

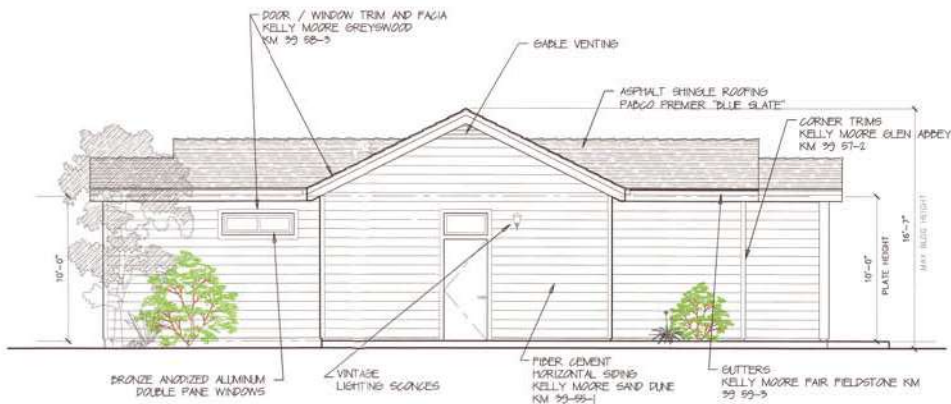
SCALE

1/8" = 1'-0"

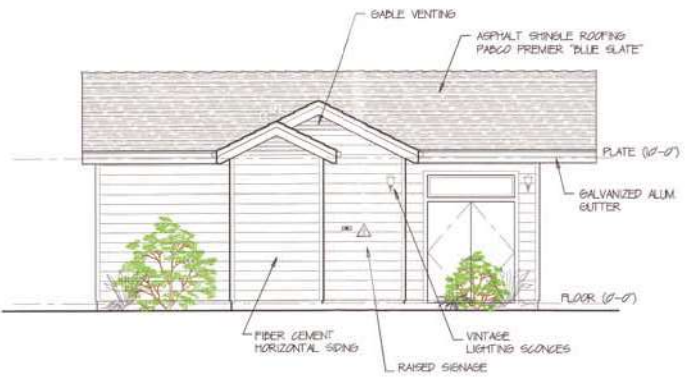
SHEET NO.

A2

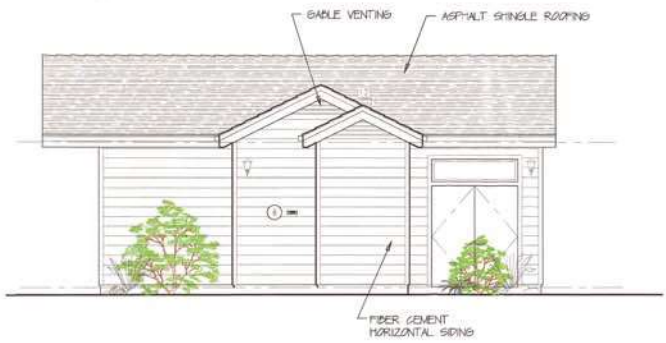
PLANNING



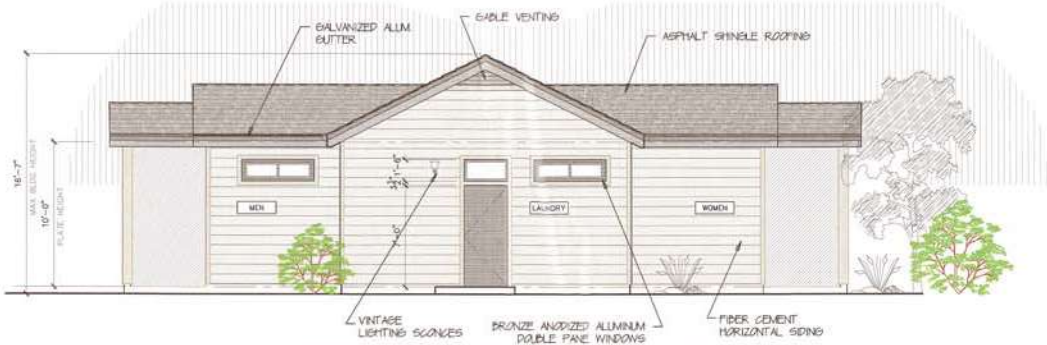
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"

Jacobsen & Associates
Architects
10000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
Tel: 310-206-1111
Fax: 310-206-1112



HARBOR VILLAGE RV PARK
100 CAPISTRANO RD.
HALF MOON BAY, CA
POINT PILLAR PROJECT DEVELOPERS, LLC
HALF MOON BAY, CA

EXTERIOR ELEVATIONS	
DATE:	
REVISIONS:	
NO.	DESCRIPTION
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A3
PLANNING



Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
[Symbol]	3	S2	BACK-TO-BACK	0.950	1/6-1-T3-48L-03-40K-TWIN @ 20' MTG. HT.	78
[Symbol]	8	S1A	SINGLE	0.950	1/6-1-T3-48L-03-40K-SINGLE @ 18' MTG. HT.	78
[Symbol]	2	S1	SINGLE	0.950	1/6-1-T3-48L-03-40K-SINGLE @ 18' MTG. HT.	78

Label	CalcType	Units	Avg	Min	Max	AngleMin	AngleMax
CalcPa_1	Illuminance	Fc	1.03	0.1	0.0	N.A.	N.A.

NEW RV
NLS LIGHTING
REV 4 7/31/17

Jacobsen & Associates
 ARCHITECTS
 10000 Wilshire Blvd., Suite 1000
 Culver City, CA 90230
 Phone: 310-206-9331 Fax: 310-206-9332

HARBOR VILLAGE RV PARK
 100 CAPISTRANO RD.
 HALF MOON BAY, CA
 POINT PILLAR PROJECT DEVELOPERS, LLC
 HALF MOON BAY, CA

PHOTOMETRIC PLAN

SHEET TITLE	NO.	REVISED	DATE
PROJECT NO.	17459		
DESIGNER	DAJ		
FILE NAME			
CREATED			
DATE	11-14-17		

SCALE

SHEET NO.

E1

PLANNING

NOT FOR PRODUCTION



SD SIGN DESIGNS
INCORPORATED
 170228 RI / 1 OF 2
 P.O. Box 4590 / 204 Campus Way, Moorpark, CA 93350 / Office 209.524.4484 / Fax 209.931.0272 / Lic#288001

MEMBER
 CSA
 WESA
 ISA

NOTICE TO THE CUSTOMER
 Note: The colors depicted on this rendering may not match actual colors when on the finished sign. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The projection of signs shown on building & landscape area photos is an approximate representation.

CUSTOMER APPROVAL
 ACCEPTED W/ NO CHANGES
 ACCEPTED W/ CHANGES AS NOTED
 REVISE AS NOTED AND RESUBMIT

BY CUSTOMER BY LANDLORD
 DATE _____ DATE _____

DATE	BY	DATE	BY
04.11.17	RS	17	RS
11.08.17	RS		

11.08.17 RI / RI / ADDRESS CHANGE, NEW DESIGN NUMBER, NAME CHANGE TO HARBOR VILLAGE FROM PRINCETON

COMPANY OR JOB NAME / JOB DESCRIPTION **170228/42365 RI**

PRINCETON HARBOR RV PARK
 REFACES FOR TWO EXISTING DF ILLUMINATED SIGN CABINETS PROJECT

ADDRESS: **100 CAPISTRANO ROAD HALF MOON BAY CALIFORNIA 94019**

SALESPERSON: **DOUG SMITH** CUSTOMER CONTACT: **XXXXXX**

NAME / DATE _____

1 OF 2

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

ALL MEASUREMENTS SHOWN IN THIS DRAWING ARE NOMINAL UNTIL THE "NOT FOR PRODUCTION" STAMP HAS BEEN REMOVED

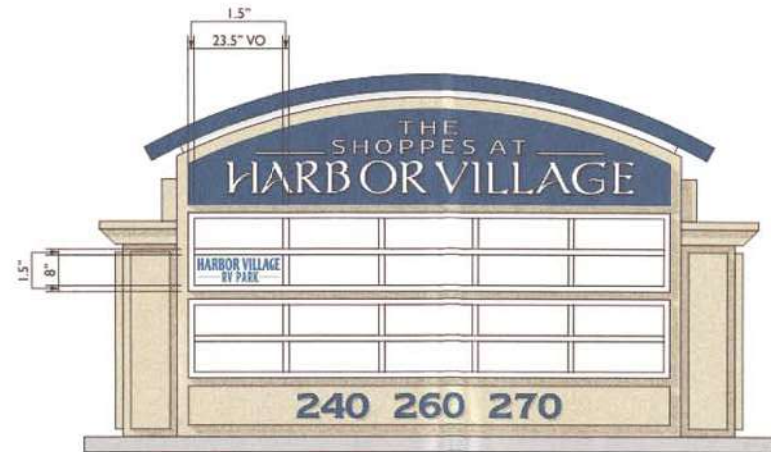


SIGN A / EXISTING DF ILLUM CABINET / REFACES
0.375" = 1'-0"

QTY (2 TOTAL)



SIGN A / EXISTING DF ILLUM CABINET / REFACES QTY (2 TOTAL)
0.375" = 1'-0"



SIGN B / EXISTING DF ILLUM CABINET / REFACES
0.375" = 1'-0"

QTY (2 TOTAL)



SIGN B / EXISTING DF ILLUM CABINET / REFACES
0.375" = 1'-0"

QTY (2 TOTAL)

**SIGNS A & B:
TENANT COPY FACES**

FACES: REMOVE EXISTING VINYL & REUSE EXISTING 3/16" WHITE POLYCARBONATE FACES W/ NEW FIRST SURFACE VINYL DECORATIONS (OPTIONAL NEW FACES) **VINYL:** 3630-157 SULTAN BLUE, 3630-51 SILVER GREY
RETAINERS: (SIGN A) EXISTING 1.5" (FACE), 2.5" DEEP (SIDES) FLAT STYLE ALUMINUM, (SIGN B) EXISTING 1.5" FLAT STYLE ALUMINUM **MECHANICAL DIVIDERS:** (SIGN A) EXISTING 2.5", (SIGN B) EXISTING 1.5" EXTRUDED ALUMINUM
NOTE: (SIGN B) THE VERTICAL DIVIDERS ARE 1.5" WIDE FLAT ALUMINUM BAR ONLY **REMOVALS:** **NOTE:** THERE HAS NOT BEEN AN OFFICIAL SURVEY COMPLETED AS OF 06.22.17
NOTE: AS OF 06.22.17 THERE HAS NOT BEEN A REQUEST TO REPAINT, REPAIR, REWIRE, RELAMP OR REPLACE ANY MISSING OR DAMAGED COMPONENTS OF THE EXISTING SIGN STRUCTURE(S)

SCOPE OF WORK: FABRICATE & INSTALL (2) TWO NEW FACES FOR EACH SIGN (4 TOTAL FACES)

THE RECTANGLES SHOWN HERE REPRESENT THE VISUAL OPENING MEASUREMENT, NOT THE FACE CUT SIZES OR THE RETAINERS

NOT FOR PRODUCTION

 P.O. BOX 4590 / 204 CAMPUS WAY, MODESTO, CA 95350 / OFFICE 209.524.4484 / FAX 209.521.0372 / LIC#6181001	MEMBER 	NOTICE TO THE CUSTOMER <small>Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all electrical inspections are NOT included in this sign proposal. Note: The projection of signs shown on building & landscape area photos is an approximate representation.</small>	CUSTOMER APPROVAL <input type="checkbox"/> ACCEPTED W/ NO CHANGES <input type="checkbox"/> ACCEPTED W/ CHANGES AS NOTED <input type="checkbox"/> REVISE AS NOTED AND RESUBMIT BY: CUSTOMER BY: LANDLORD DATE: _____ DATE: _____	<table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>06.11.17</td> <td>RL</td> <td>07</td> <td>RL</td> </tr> <tr> <td>11.08.17</td> <td>RL</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	DATE	BY	DATE	BY	06.11.17	RL	07	RL	11.08.17	RL															11.08.17 RL/RL / ADDRESS CHANGE, NEW DESIGN NUMBER, NAME CHANGE TO HARBOR VILLAGE FROM PRINCETON COMPANY OR JOB NAME / JOB DESCRIPTION 170228/42365 RI PRINCETON HARBOR RV PARK REFACES FOR TWO EXISTING DF ILLUMINATED SIGN CABINETS PROJECT ADDRESS: 100 CAPISTRANO ROAD HALF MOON BAY CALIFORNIA 94019 SALESPERSON: DOUG SMITH CUSTOMER CONTACT: XXXXX NAME / DATE: _____
	DATE	BY	DATE	BY																									
	06.11.17	RL	07	RL																									
	11.08.17	RL																											
COPYRIGHT 2017 <small>This drawing was created to assist you in visualizing our proposal. The original files herein are the property of Sign Design. Permission to copy or reuse this drawing can only be obtained thru a written agreement w/ Sign Design. See your sales representative or call Sign Design.</small>	<small>By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, duplication and/or manufacturing to another sign company, architectural company or other business entity for the purpose of reuse of manufacturing or for use as mechanical property, such as, but not limited to, a company logo, unless the represented logo was provided to Sign Design by the customer and input into this drawing document by a Sign Design employee.</small>	2 OF 2																											
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.			ALL MEASUREMENTS SHOWN IN THIS DRAWING ARE NOMINAL UNTIL THE "NOT FOR PRODUCTION" STAMP HAS BEEN REMOVED																										



Image One
Original Photo, August 2017



A



B



C

Image Two
Original Photo, August 2017

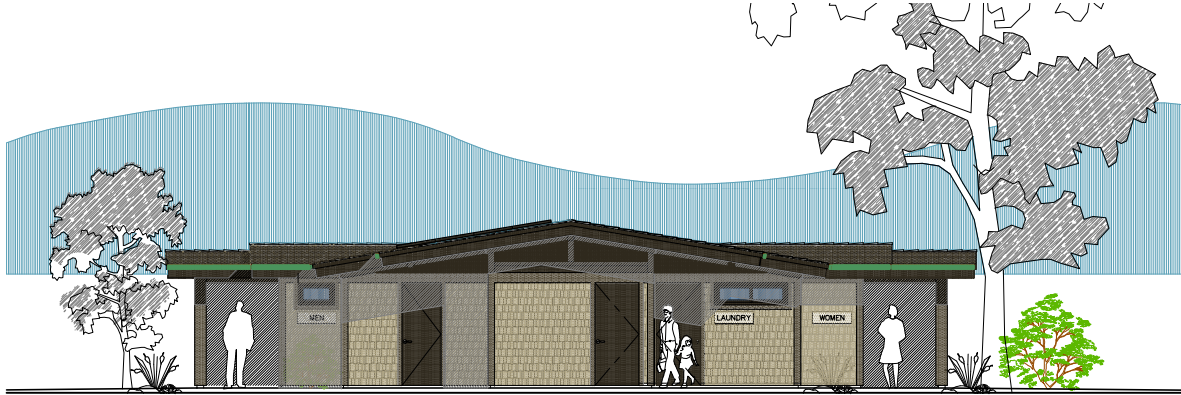


Image Three
Original Photo, August 2017



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT F



HARBOR VILLAGE RV PARK

Jacobsen & Associates
ARCHITECTS

1400 California Street, Suite 200
San Francisco, CA 94109
Telephone: 415.774.1111
E-mail: info@jacobsenarch.com

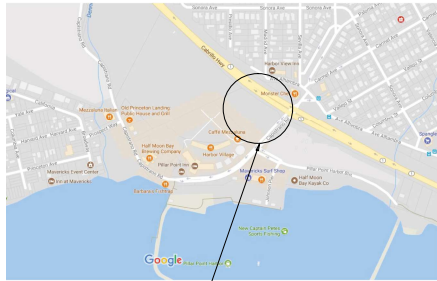


STAMP

HARBOR VILLAGE RV PARK
100 CAPISTRANO RD.
HALF MOON BAY, CA

POINT PILLAR PROJECT DEVELOPERS, LLC
HALF MOON BAY, CA

VICINITY MAP



SITE

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH THE 2019 CALIFORNIA BUILDING CODE, 2019 CAL. GREEN BLDG. CODE, 2019 CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA ENERGY CODE, MUNICIPAL CODES AND ALL OTHER APPLICABLE LOCAL ORDINANCES.
- DO NOT SCALE DRAWINGS. DIMENSIONS AS NOTED PREVAIL. DISCREPANCIES SHALL BE BROUGHT FORTH FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.

SCOPE OF WORK

47 SPACES RV PARKING, 9 TENT SPACES AND SUPPORTING SINGLE STORY LOW RISE SQFT LAUNDRY AND RESTROOM FACILITY AND SITE WORK.

DRAWING INDEX

- T10 TITLE SHEET
- 00-1 BOUNDARY & TOPOGRAPHIC SURVEY
- C-1 GRADING & DRAINAGE PLAN
- C-2 DETAILS & SECTION
- C-3 EROSION & SEDIMENT CONTROL PLAN
- C-4 BEST MANAGEMENT PRACTICES
- C-4 SEWER PLAN
- L11 LANDSCAPE PLAN
- L12 LANDSCAPE DETAILS
- L13 IRRIGATION PLAN
- L12 IRRIGATION DETAILS
- L31 HYDROZONE WAREHO PLAN
- L41 LANDSCAPE SITE RENDERINGS
- L51 VISUAL ANALYSIS SITE SECTION
- A0 SITE PLAN
- A10 GROUND FLOOR & ROOF PLAN
- A50 EXTERIOR ELEVATIONS
- A40 TRASH ENCLOSURE
- E1 PHOTOMETRIC PLAN
- 1 HARBOR VILLAGE RV PARK - SEWAGE
- 2 HARBOR VILLAGE RV PARK - SEWAGE
- 1 ORIGINAL BASE PHOTO ONE
- 2 ORIGINAL BASE PHOTO TWO
- 3 ORIGINAL BASE PHOTO THREE

PROJECT DATA

OWNER: POINT PILLAR PROJECT DEVELOPERS LLC.
ADDRESS: 100 CAPISTRANO ROAD, HALF MOON BAY, CA
PARCEL #: 047-084-400
LOT SIZE: 14,950 SF
ZONING: C-B
CONSTRUCTION TYPE: TYPE V-D
OCCUPANCY GROUP: S2 / U

PROPOSED BUILDING HEIGHT = 11'-10"

FLOOR AREA = 1,068 sqft

TITLE SHEET

PROJECT NO.	DATE
17489	3/4/19
DRAWN BY	FILE NAME
EJH	17489_01
CHECKED	DATE
	11-14-17

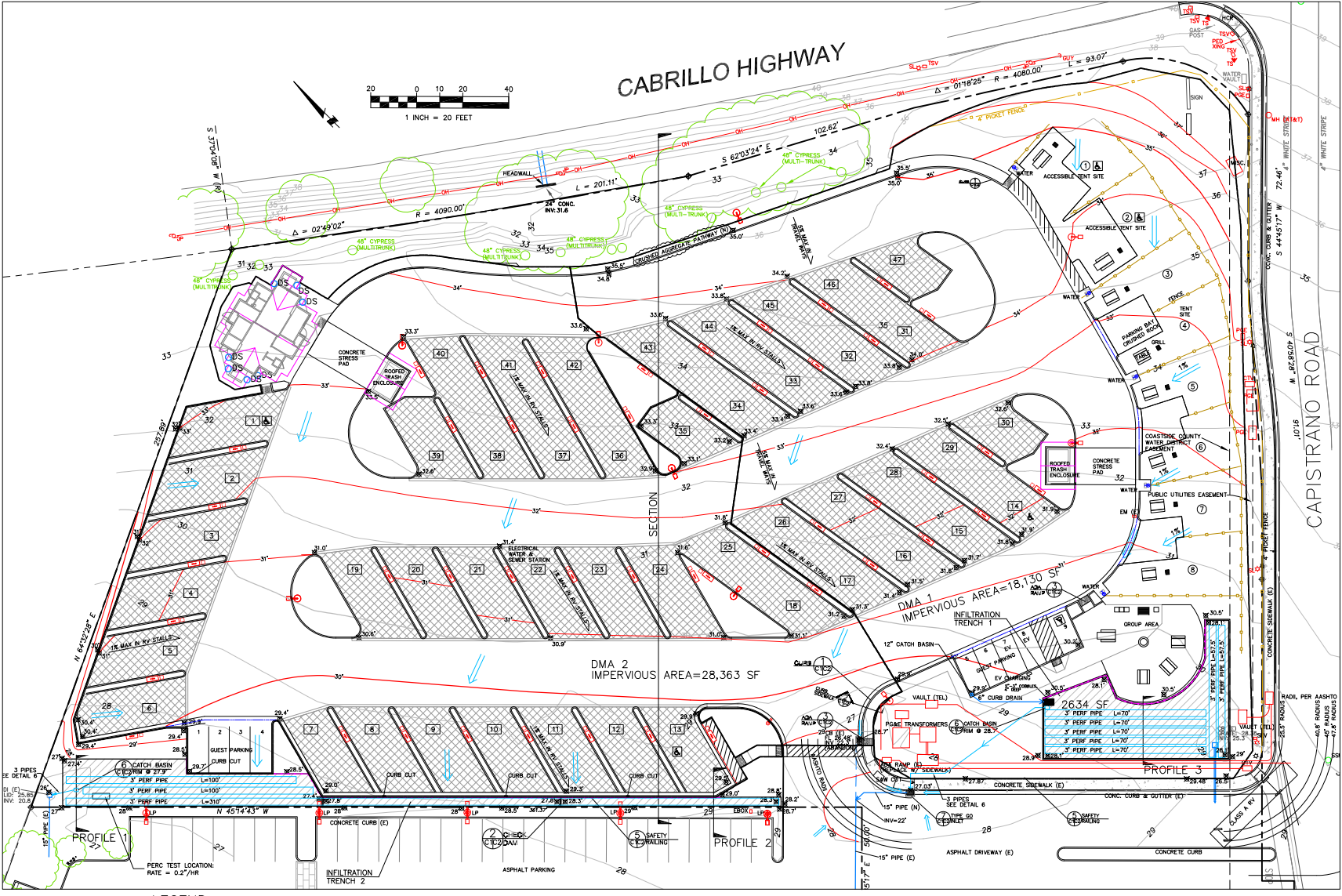
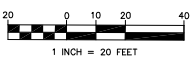
SCALE

SHEET NO.

T1C

PLANNING

CABRILLO HIGHWAY



SECTION AND DETAIL CONVENTION

SECTION OR DETAIL IDENTIFICATION
 REFERENCE SHEET AND FROM WHICH SECTION OR DETAIL IS TAKEN
 REFERENCE SHEET NO. ON WHICH SECTION OR DETAIL IS SHOWN



GENERAL NOTES

1. PLAN PREPARED AT THE REQUEST OF: RDV STRAFORD, MANAGER TO MILLAR POINT PROJECT DEVELOPERS, LLC.
2. TOPOGRAPHY BY 361 SURVEYING, OCTOBER 7, 2014.
3. ELEVATION DATUM: NGVD 29.
4. THIS IS NOT A BOUNDARY SURVEY.

PROJECT DESIGN DATA

LOT AREA: 143,282 SF (3.26 ACRES)
 EXISTING IMPERVIOUS AREA: 18,299 SF (0.37 ACRES)
 PROPOSED IMPERVIOUS AREA: 46,181 SF (1.07 ACRES)
 NET DRAINAGE: 30,228 SF (0.69 ACRES)
 TOTAL % OF IMPERVIOUS COVERAGE: 32%

LEGEND

- EXISTING CONTOUR (E) EXISTING
- PROPOSED CONTOUR (N) NEW, OR PROPOSED
- 31.0' SPOT ELEVATION (N)
- DS DOWNSPLOT
- DIRECTION OF SURFACE DRAINAGE FLOW
- SDR 35 PVC DRAIN PIPE, DIAMETERS PER DETAIL 6
- INFILTRATION TRENCH
- PERVIOUS CONCRETE: 39,586 SF (ALL OTHER PAVED AREAS TO BE IMPERVIOUS ASPHALT: 41,026 SF)

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPED AREAS. THE COEFFICIENT SHALL PROVIDE POSITIVE DRAINAGE FOR ALL AREAS.
2. DRAINAGE FROM PARKING LOT TO OCCUR AS SHEET FLOW, DIRECTED TO INFILTRATION TRENCHES, AS SHOWN.
3. RAINWATER RUNOFF FROM PROPOSED ROOF TO BE COLLECTED WITH CUTTERS & DOWNSPOUTS & CONVEYED TO 3" PVC PIPE DIRECTED TO THE ADJACENT INFILTRATION TRENCH, VIA A POP-UP ENTER.
4. OVERFLOW FROM INFILTRATION TRENCHES TO BE DIRECTED TO EXISTING STORM DRAIN SYSTEM VIA 6" INCH DIAMETER PIPES, AS SHOWN.

GRADING NOTES

CUT VOLUME, DUE TO AVERAGE 6" INCH STRIPPING DEPTH: 121,800 CF OF AREA TO BE STRIPPED X 0.6 FEET = 2262 CF

ADDITIONAL CUT VOLUME, TO REACH PAVING SUBGRADE = 1500 CF

NET CUT = 3762 CF X 1.2 = 4514 CF OFF-HAUL

FILL VOLUMES
 100 CF SOIL
 1100 CF OF 24" ROOF UNDER ASPHALT
 1800 CF OF DRAIN ROOF UNDER PERVIOUS CONCRETE
 800 CF OF DRAIN ROOF UNDER INFILTRATION TRENCHES
 200 CF SOIL IN PLANTER ISLANDS

PRELIMINARY
NOT FOR CONSTRUCTION

GRADING AND DRAINAGE PLAN

100 CAPISTRANO ROAD
 HARBOR VILLAGE
 RV PARK
 APN: 047-051-430

DATE: 11-19-19
 DRAWN BY: CHK
 CHECKED BY: AZE
 REV. DATE: 1-18-20
 REV. DATE: 7-21-20
 REV. DATE: 9-28-20

Sigitas Prizma Geotechnical, Inc.
 15000 S. HARBOR BLVD., SUITE 100
 HARBOUR VILLAGE, CA 94019
 (650) 728-3980
 SIGITAS@SIGITAS.COM

PROFESSIONAL ENGINEER
 S. PRIZMA
 No. 62264
 STATE OF CALIFORNIA

SHEET
 C-1

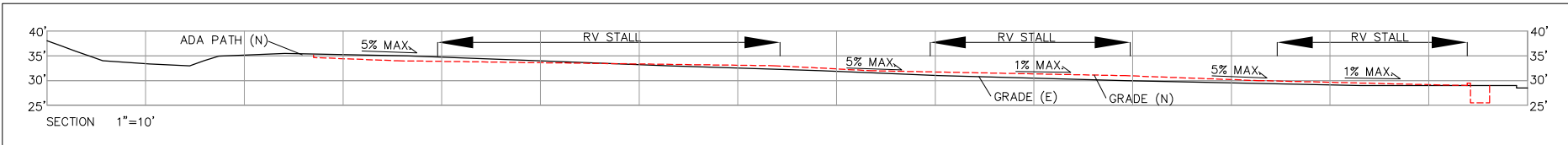
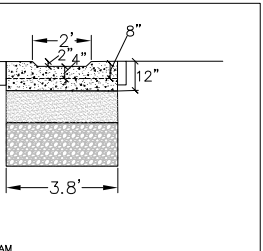
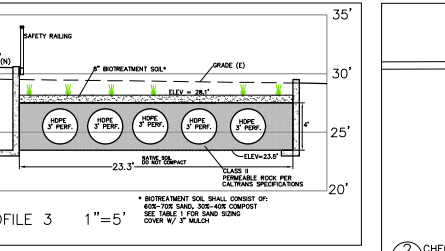
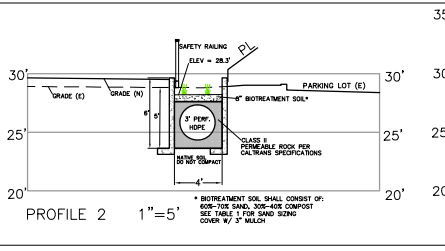
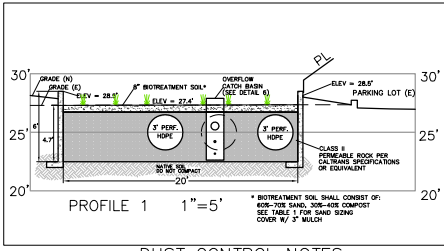


TABLE 1 - SAND SIZING FOR BIOTREATMENT SOIL

SIEVE SIZE	PERCENT PASSING (BY WEIGHT)	
	MIN.	MAX.
3/8 inch	100	100
No. 4	90	100
No. 8	70	100
No. 16	40	95
No. 30	15	70
No. 40	5	55
No. 100	0	15
No. 200	0	5

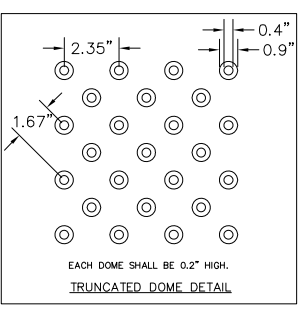
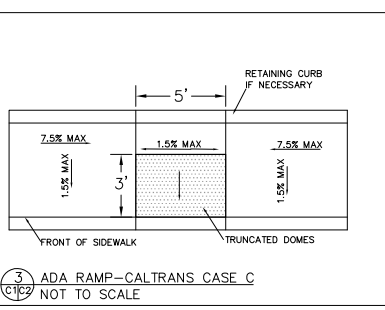
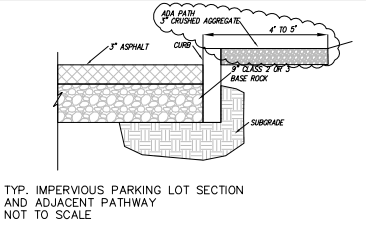
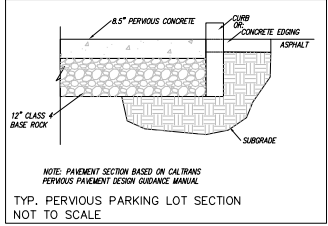


SIDEWALK NOTES

- EXISTING SIDEWALK BETWEEN EXISTING CATCH BASIN AND PROPOSED CATCH BASIN SHALL BE REMOVED AND REPLACED TO MATCH EXISTING, EXCEPT WITH NEW ELEVATIONS AND FLOW DIRECTION (AT LOCATION SHOWN, AT ENTRANCE TO PROPOSED RV PARK).
- NEW SIDEWALK TO BE CONSTRUCTED AT LOCATION SHOWN.
- SIDEWALK SHALL BE CONSTRUCTED ON CLASS II CONCRETE.
- WEAKENED PLANE JOINTS SHALL BE CONSTRUCTED ON 10' SPACING, AT ENDS OF CURB RETURN. MINIMUM JOINT DEPTH SHALL BE 1-1/4" WITH EDGER FINISH (R-18).
- MINIMUM SIDEWALK WIDTH AT HORIZONTAL CURB RECONSTRUCTION SHALL BE 5'.
- COLOR ADDITIVES OR PATTERN STAMP CONCRETE SHALL NOT BE USED WITHIN PUBLIC RIGHT-OF-WAY UNLESS APPROVED BY THE CITY ENGINEER.
- DURING SIDEWALK RECONSTRUCTION, PEDESTRIAN TRAFFIC SHALL BE DIRECTED VIA DETOUR SIGNS TO A FENCED PATH ON THE PROPERTY, JUST INBOUND FROM THE SIDEWALK.
- SIDEWALK RECONSTRUCTION SHALL TAKE NO MORE THAN 7 WORKING DAYS.
- ALL SIDEWALK, CURB, AND CUTTER DAMAGED PRIOR TO OR DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.

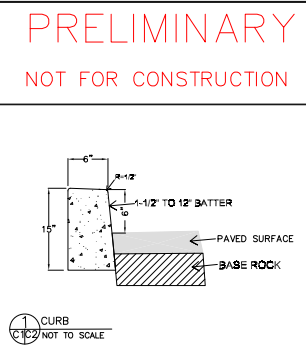
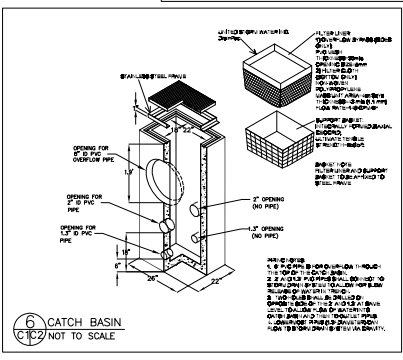
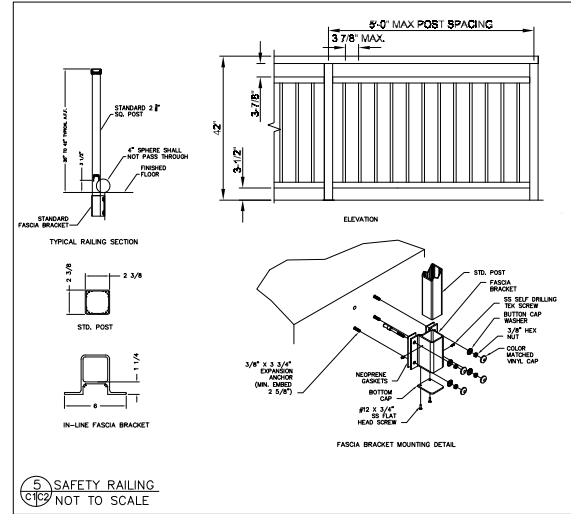
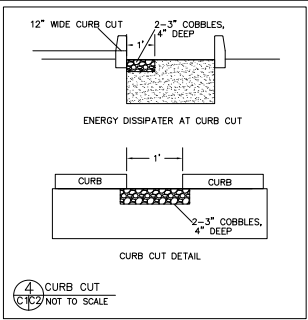
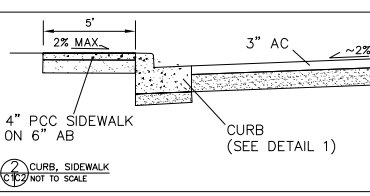
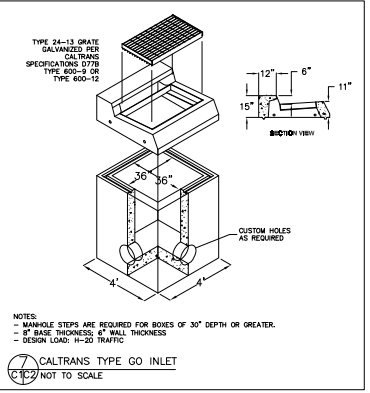
DUST CONTROL NOTES

- Water or cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
- Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydrosed or apply non-toxic soil stabilizers to inactive construction areas.
- Sweep daily (preferably with water sweeper) all paved access roads, parking and staging areas at construction sites.
- Sweep adjacent public streets daily (preferably with water sweeper) if visible soil material is carried onto them.
- Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- Limit traffic speeds on unpaved roads within the project parcel to 15 mph.
- Install windbags or other erosion control measures to prevent silt runoff to public roadways.
- The approved plan shall be implemented for the duration of any grading and construction activities that generate dust and other airborne particles.



RAMP NOTES

- SURFACE OF RAMP SHALL HAVE TRUNCATED DOMES, AS SHOWN. (SEE TRUNCATED DOME DETAIL)
- TRANSITIONS FROM RAMPS TO WALKS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. THE BOTTOM OF THE RAMP SHALL HAVE A 1/2\"/>

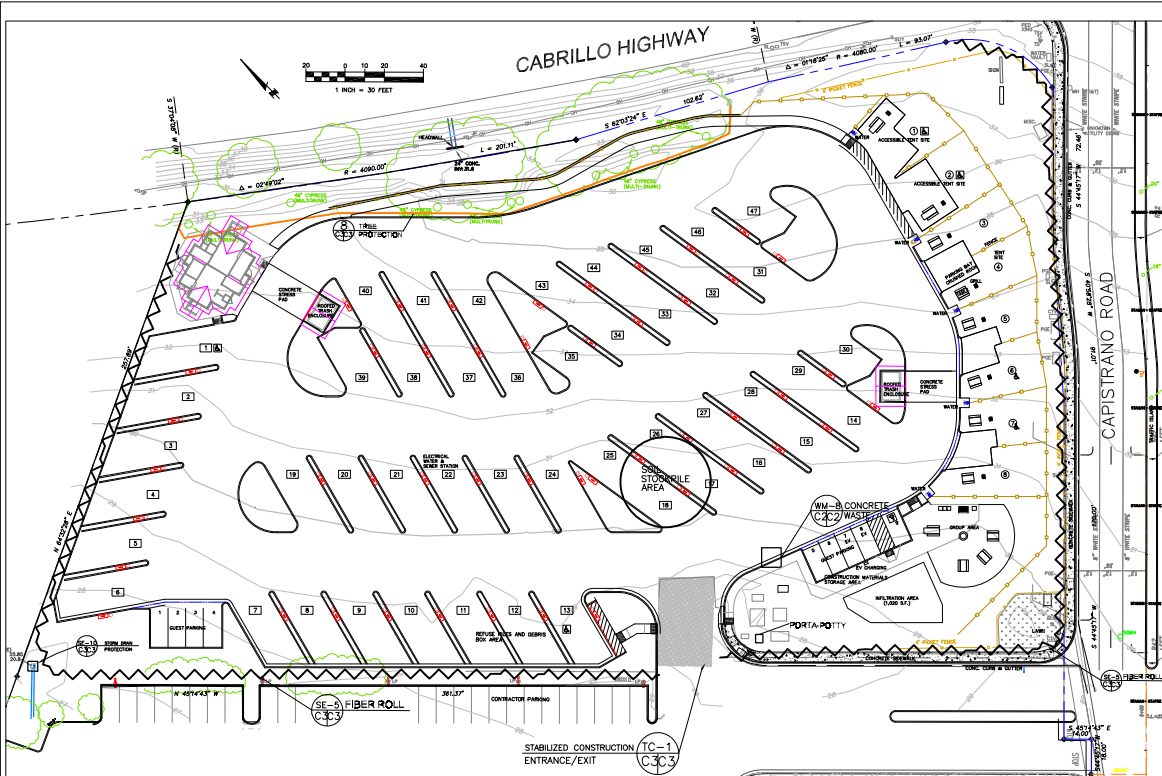


Sigmund Prince Geotechnical, Inc.
 322 PRINCE DRIVE
 HARBOUR VILLAGE
 SAN FRANCISCO, CA 94107
 TEL: 415.778.2828
 FAX: 415.778.2829
 WWW: WWW.SPGEOTECH.COM

DATE: 11-9-18
 DRAWN BY: CMC
 CHECKED BY: AJG
 REV. DATE: 10-20-18
 REV. DATE: 10-20-18
 REV. DATE: 10-20-18

100 CARISTRANO ROAD
 HARBOUR VILLAGE
 RV PARK
 APN: 047-081-430

DETAILS SECTION
 SHEET
 C-2



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: BLUER POINT PROJECT DEVELOPERS, LLC
 TITLE/QUALIFICATION: MANAGER
 PHONE: 660-300-5712
 PHONE: _____
 EMAIL: BO@BLUERPOINT.COM

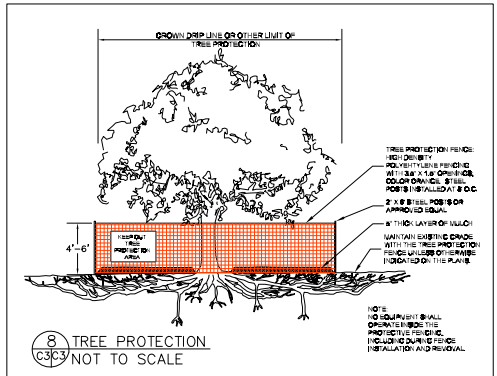
USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE SHADE OF THE STOCKPILE.

TREE PROTECTION NOTES

1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PHASES.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO TRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when diverting site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site, clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site

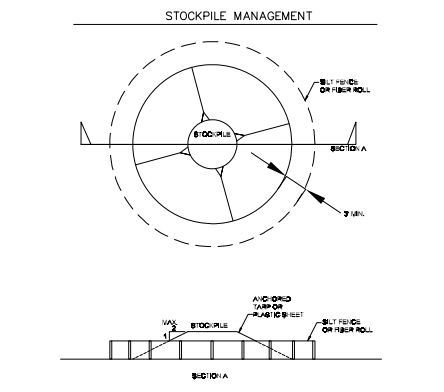
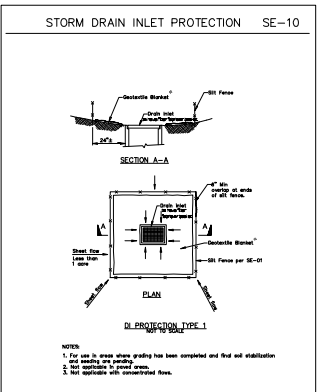
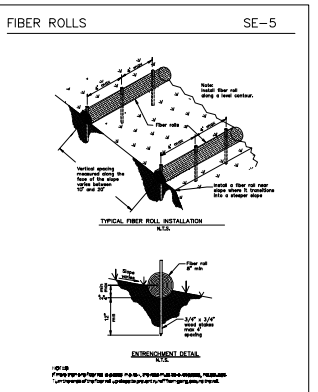
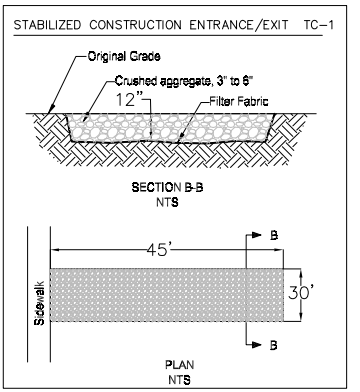
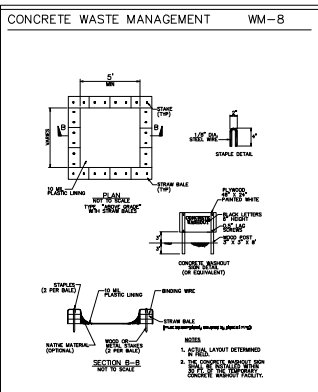


EROSION CONTROL NOTES

FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL SE-5

PRELIMINARY
NOT FOR CONSTRUCTION

1. GRADING SHALL ONLY BE ALLOWED DURING THE DRYING PERIOD WITH APPROVAL FROM THE COUNTY, PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND PROTECTED FROM SITE AS MUCH AS POSSIBLE, IF REQUIRED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL INCREASE OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
6. STOCKPILED MATERIALS SHALL BE STORED IN A 17 FEET WIDE AND 40 FEET HIGH TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3" TO 8" INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 6" THICK.
 - C. THE STRINGS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D, ABOVE).

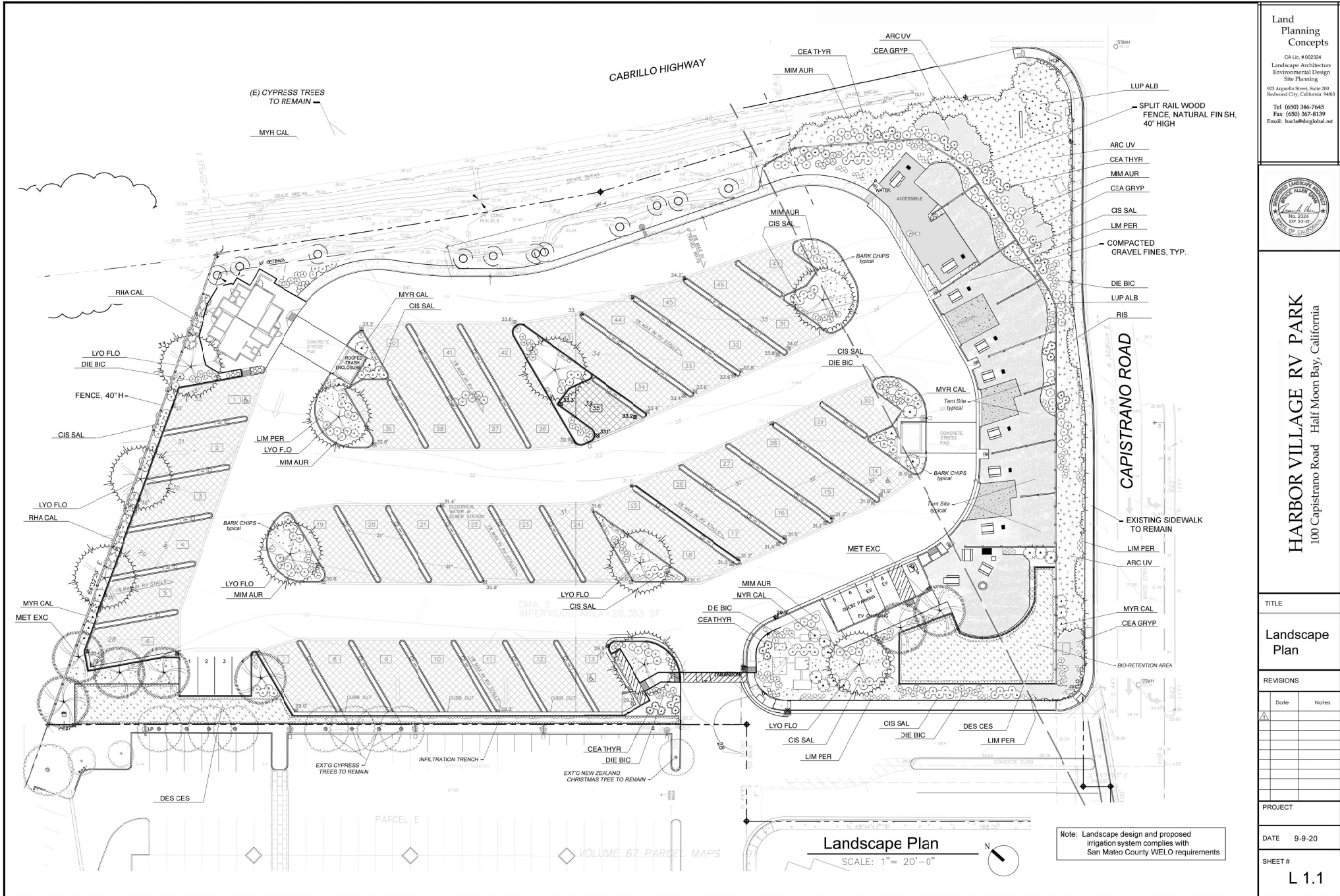


Signature: Steven W. Keller
 No. 62264
 State of California
 CIVIL ENGINEER

DATE: 11-9-18
 DRAWN BY: AZG
 CHECKED BY: CMK
 REV. DATE: 1-30-20
 REV. DATE: _____
 REV. DATE: _____

EROSION AND SEDIMENT CONTROL PLAN AND TREE PROTECTION
 100 CAPISTRANO ROAD
 HARBOR VILLAGE
 RY PARK
 APN: 047-081-430

SHEET
 C-3



Land Planning Concepts
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 Landscape Architect
 Environmental Design
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 Email: becki@lpcglobal.net



HARBOR VILLAGE RV PARK
 100 Capistrano Road Half Moon Bay, California

TITLE

Landscape Plan

REVISIONS

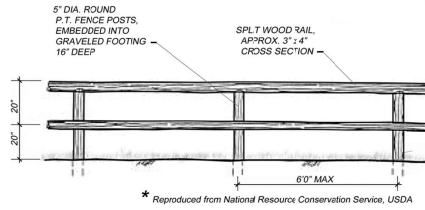
Date	Notes

PROJECT

DATE 9-9-20

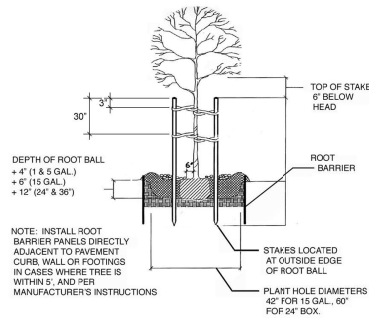
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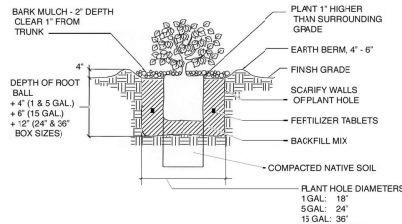
1 POST & RAIL FENCE

Not to Scale



2 TREE PLANTING

Not to Scale



3 SHRUB PLANTING

Not to Scale

Plant List

No.	Botanical Name	Common Name	Qty	Size	WU	Remarks
LYO FLO	Lyonothamnus floribundus ssp. asplenifolius	Fernleaf Catalina Ironwood	10	24" Box	L	Evgn Tree
MET EXC	Metrosideros excelsus	New Zealand Christmas Tree	7	36" Box	L	Evgn Tree Multi-trunk
ARC UV	Arcotostaphylos uva-ursi	Emerald Carpet	1 Gal	L	L	Groundcover
CEA DKS	Ceanothus 'Dark Star'	California Lilac	5 Gal	L	L	Evgn Shrub
CEA GRYP	Ceanothus griseus horiz. 'Yarkee Point'	Carmel Creeper	5 Gal	L	L	Groundcover
CEA THYR	Ceanothus thyrsiflorus 'Skyark'	California Lilac	5 Gal	L	L	Evgn Shrub
CIS SAL	Cistus salvifolius	Sageleaf Rockrose	5 Gal	L	L	Decid Shrub
DES CES	Deschampsia cespitosa	Tufted hairgrass	1 Gal	L	L	Perennial Infiltration Trench
DIE BIC	Dietes bicolor	Fortnight Lily	1 Gal	L	L	Evgn Shrub
IRIS	Iris douglasiana	Pacific Coast Iris	1 Gal	L	L	Bulb
LIM PER	Limnolium perezii	Sea Thrift	1 Gal	L	L	Evgn Shrub
LUP ALB	Lupinus albus	Silver Lupine	1 Gal	L	L	Perennial
MIM AUR	Mimulus aurantiacus	Sticky Monkey Flower	5 Gal	VL	VL	Evgn Shrub
MYR CAL	Myrica californica	Pacific Wax Myrtle	5 Gal	M	M	
RHA CAL	Rhamnus californica 'Mound San Bruno'	Coffeeberry	5 Gal	L	L	Evgn Shrub Ev Subshrub

Note: Contractor shall verify quantities

PLANTING NOTES

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.
- ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
- REMOVAL OF EXISTING TREES SHALL BE CONFIRMED WITH THE LANDSCAPE ARCHITECT AND OWNERS IN THE FIELD PRIOR TO REMOVAL. EACH TREE TO BE REMOVED SHALL HAVE A RED OR ORANGE TAPE SECURED TO A BRANCH, AND THE TRUNK SHALL BE CLEARLY MARKED WITH PAINT OF THE SAME COLOR. THE CONTRACTOR SHALL SUPPLY THE MATERIALS FOR MARKING THE TREES AND COORDINATE WITH THE LANDSCAPE ARCHITECT. THE TREE STUMPS AND ROOTS SHALL ALSO BE REMOVED, AND SURROUNDING SURFACE RE-GRADED AND RESTORED.
- SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR, AND PERFORMED BY A CERTIFIED LABORATORY. A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES.
- SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. 50% AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
- PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
- SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 2" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE.
- ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
- ROOT BARRIERS FOR ALL TREES WITHIN EIGHT FEET OF PAVEMENT SHALL BE INSTALLED. BARRIERS SHALL BE PLASTIC AND EXTEND COMPLETELY AROUND THE ROOT BALL. THE DIAMETER OF THE BARRIER SHALL BE 42". THE BARRIER SHALL EXTEND TO A DEPTH OF 24".
- ESPAUER PLANTS SHALL BE FURNISHED WITH A PREMANUFACTURED WOOD TRELLIS. THE TRELLIS SHALL BE SECURELY FASTENED TO TWO PRESSURE TREATED 2" DIAMETER POLES.
- PLANTING AREAS SHALL BE COVERED WITH A THREE INCH LAYER OF BARK CHIPS.

Land Planning Concepts

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Email: bcc@bocglobal.net



HARBOR VILLAGE RV PARK
100 Capistrano Road Half Moon Bay, California

TITLE

Landscape Details

REVISIONS

Date	Notes

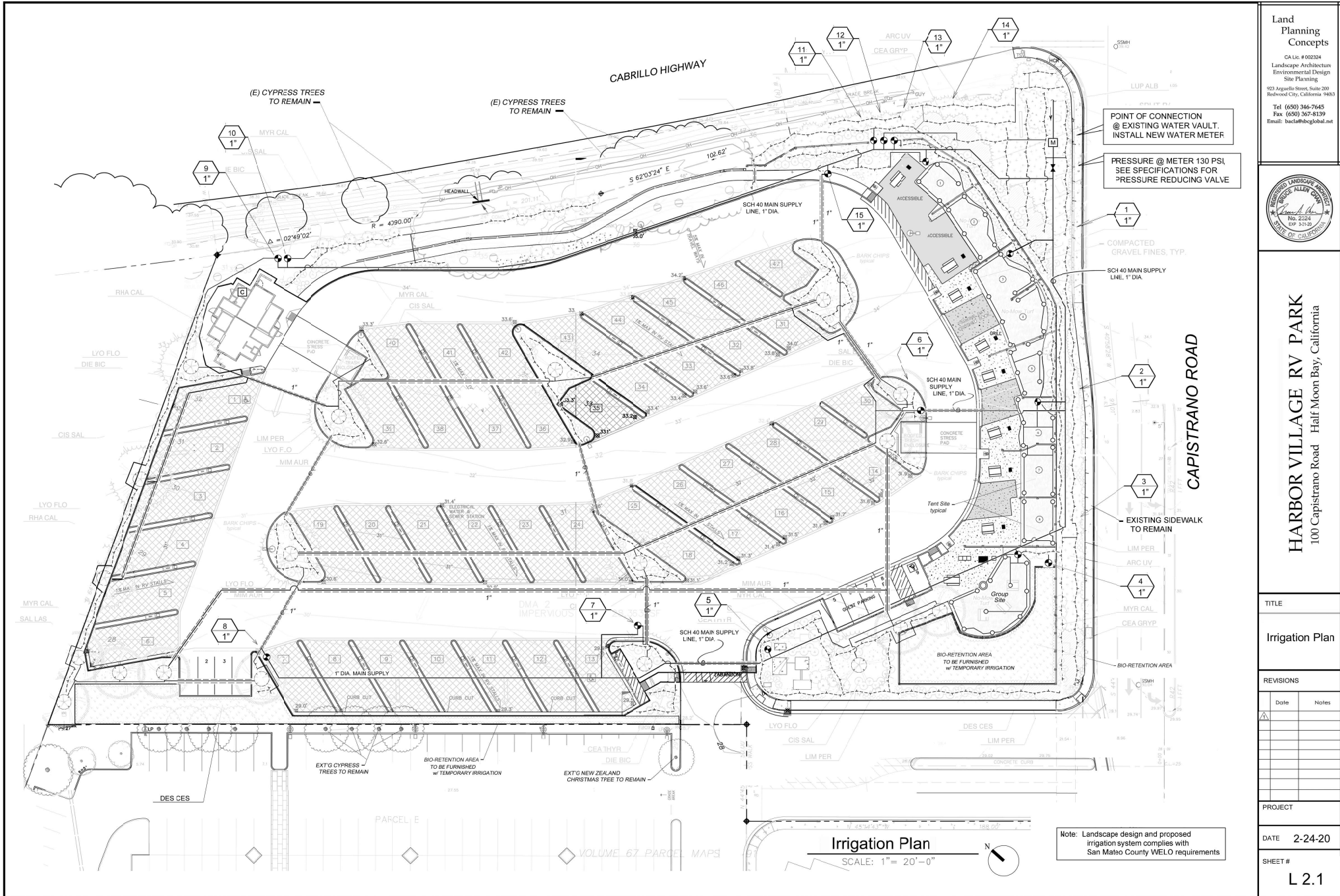
PROJECT

DATE 9-9-20

SHEET #

L 1.2





Land Planning Concepts
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 Landscape Architect
 Environmental Design
 Site Planning
 923 Arguello Street, Suite 200
 Redwood City, California 94063
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 Email: bcd@lpcglobal.net



HARBOR VILLAGE RV PARK
 100 Capistrano Road Half Moon Bay, California

TITLE
Irrigation Plan

REVISIONS

Date	Notes

PROJECT
 DATE 2-24-20
 SHEET #
L 2.1

Estimated Total Water Use ETWU

Date:	2/24/20
Project Name:	Harbor Village RV Park
Project Contact:	Bruce Chan Landscape Architect
Project Contact Email:	bac@slbcglobal.net

Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area Including SLA	MAWA (gal/yr)
	Non-residential	33.7	0.45	-	21,296	200,231

$$MAWA = (ETo) * (0.62) * (ETAF * LA) + ((1 - ETAF) * SLA)$$

Estimated Total Water Use (ETWU)	ETo	(SF * PF) / IE	SLA	ETWU (gal/yr)
	33.7	9.481	-	198,094

$$ETWU = (ETo) * (0.62) * (PF * SF / IE) + SLA$$

Difference between MAWA and ETWU	2,137
----------------------------------	-------

Project meets water budget.

ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	Planters	Drip	16,120	0.30	0.81	5,970
	2	Trees	Drip	250	0.50	0.81	154
	3	Trees	Drip	225	0.80	0.81	222
	4	Lawn	Spray	4,701	0.50	0.75	3,134
		Landscape area (not including SLA)		21,296			9,481

ETWU Calculation (Special Landscape Areas (SLA))	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
	Edible planting area	0	1.0	-
	Multiuse and sports field turf area	0	1.0	-
	Area irrigated with recycled water	-	1.0	-
	Pool	-	1.0	-
	Total SLA	0		0
	Total Landscape Area (including SLA) from ETWU Calculation	21,296		

Irrigation Legend

SYMBOL	MODEL	DESCRIPTION
	700-CMR-100 SERIES/LT-T SERIES	IRRITROL REMOTE CONTROL VALVE w/ PRESSURE REGULATION/ KBI PVC BALL VALVE
	975XL2-1"	WILKINS LEAD-FREE REDUCED PRESSURE BACKFLOW PREVENTER
	MC-24E PROMAX-UA	IRRITROL 24 STATION MC-E CONTROLLER - WALL MOUNT PRO MAX UNIVERSAL MAINTENANCE REMOTE KIT
		DRIP TUBING TORO T-EHC1645 FLUE STRIPE HOSE WITH TORO LOC-EZE FITTINGS. 4" COVER. DISTRIBUTION TUBING TORO EHW043-010 1/4" HOSE.

IRRIGATION INSTALLATION NOTES

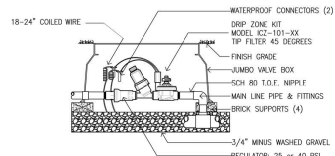
IRR FERF 503

- CONTRACTOR SHALL LOCATE UNDERGROUND SERVICES PRIOR TO PERFORMING ANY EXCAVATION.
- AN APPROVED BACKFLOW PREVENTER SHALL BE INSTALLED PER LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. THE BACKFLOW DEVICE SHALL BE A REDUCED PRESSURE DOUBLE CHECK TYPE INSTALLED IN A LOCKABLE ENCLOSURE. THE BACKFLOW DEVICE SHALL BE LOCATED IN THE VICINITY OF THE WATER METER, IF POSSIBLE.
- A MANUAL SHUT OFF VALVE SHALL BE REQUIRED, AS CLOSE AS POSSIBLE TO THE POINT OF THE WATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY OR ROUTINE REPAIR.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR IN EXCESS OF RECOMMENDED OPERATING PRESSURE OF SPECIFIED IRRIGATION DEVICES.
- MAIN SUPPLY LINES SHALL BE PVC SCHEDULE 40, SIZE AS VOTED, BURIED 18" DEEP. LATERAL SUPPLY LINES SHALL BE BURIED 12" DEEP. FLEXIBLE PIPE TUBING SHALL BE BURIED 4" DEEP.
- REMOTE CONTROL VALVES SHALL BE 1" WHEN CONNECTED TO MAIN SUPPLY LINES OF SAME SIZE, AND SUPPLY A TOTAL NUMBER OF HEADS OR EMITTERS NOT TO EXCEED 14 GALLONS PER MINUTE DISCHARGE FOR EACH CIRCUIT. FOR MAIN SUPPLY LINES OF 1-1/2" DIAMETER, THE CONTRACTOR MAY CHOOSE AS AN OPTION INSTALLING A 1-1/2" RCV, WHICH WILL HAVE CIRCUIT FLOW RATE NOT TO EXCEED 30 GPM. VALVES SHALL BE MANUFACTURED BY TORO OR HUNTER AND INSTALLED UNDERGROUND IN WEATHER-PROOF VALVE BOXES.
- DRIP IRRIGATION CIRCUITS SHALL BE FINISHED WITH A PRESSURE REGULATING DEVICE IF THE WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES. AN IN-LINE FILTER SHALL BE INSTALLED ADJACENT TO THE CONTROL VALVE. THE END OF EACH SUPPLY CIRCUIT SHALL BE FINISHED WITH A BALL VALVE.
- AN INTEGRATED CHECK VALVE SHALL BE INSTALLED INTO THE LOWEST SPRINKLER HEAD ON EACH CIRCUIT. CHECK VALVES OR ANTIDRAIN VALVE ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- CONTRACTOR SHALL FLUSH ALL PIPES PRIOR TO INSTALLING SPRINKLER HEADS AND PRESSURE TEST THE MAIN SUPPLY LINE. A THOROUGH CHECK FOR ANY LEAKS SHALL BE PERFORMED. THE ENTIRE SYSTEM SHALL BE CHECKED FOR LEAKS PRIOR TO BACKFILLING OF TRENCHES.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE CLOCK WATERING CYCLE AND DURATION TO PREVENT RUN-OFF. HEADS SHALL BE ADJUSTED SO THAT SPRAY DOES NOT HIT EXISTING TREE TRUNKS.
- THIS PLAN IS DIAGRAMATIC. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NECESSARY TO ENSURE PROPER COVERAGE AND WATERING TO EACH PLANT. A SUFFICIENT NUMBER OF SPRINKLER HEADS AND EMITTERS SHALL BE FURNISHED AT THE CONTRACTOR'S EXPENSE TO ACHIEVE THIS.

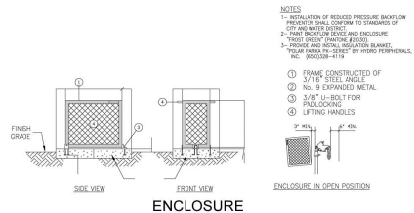
COMPLIANCE NOTES

IRR FERF 503

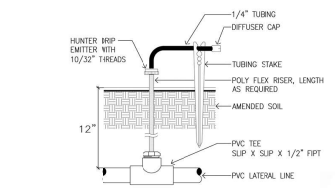
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES. T
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT BY A CERTIFIED IRRIGATION AUDITOR SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION AND SUBMITTED WITH THE CERTIFICATE OF COMPLETION.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.



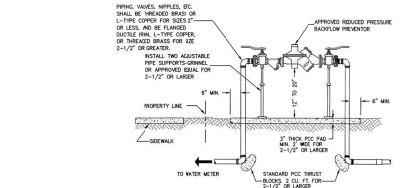
3 REMOTE CONTROL VALVE NTS



2 BACKFLOW PREVENTER Not to Scale



4 DRIP EMITTER NTS



1 AUTOMATIC CONTROLLER Not to Scale

COUNTY OF SAN MATEO
LANDSCAPE WATER USE STATEMENT

PROJECT NAME: HARBOR VILLAGE RV PARK
PROJECT ADDRESS: 100 CAPISTRANO ROAD, FRINGETON CA
PREPARED BY: ERUCEA A. CHAN, CA RLA #2324, 923 ARGUELLO STREET, SUITE 200, FREDWOOD CITY CA 94063, 650-346-7645, 650-367-8139 (FAX), bac@slbcglobal.net

"I have complied with the criteria of the ordinance and applied them accordingly for efficient use of water in the irrigation design plan."

Signed: *[Signature]*

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 Tel (650) 346-7645
 Fax (650) 367-8139
 Email: bac@slbcglobal.net



HARBOR VILLAGE RV PARK
 100 Capistrano Road
 Half Moon Bay, California

TITLE

IRRIGATION DETAILS

REVISIONS

Date	Notes
11-10-18	Revise WEL0 Compliance Info

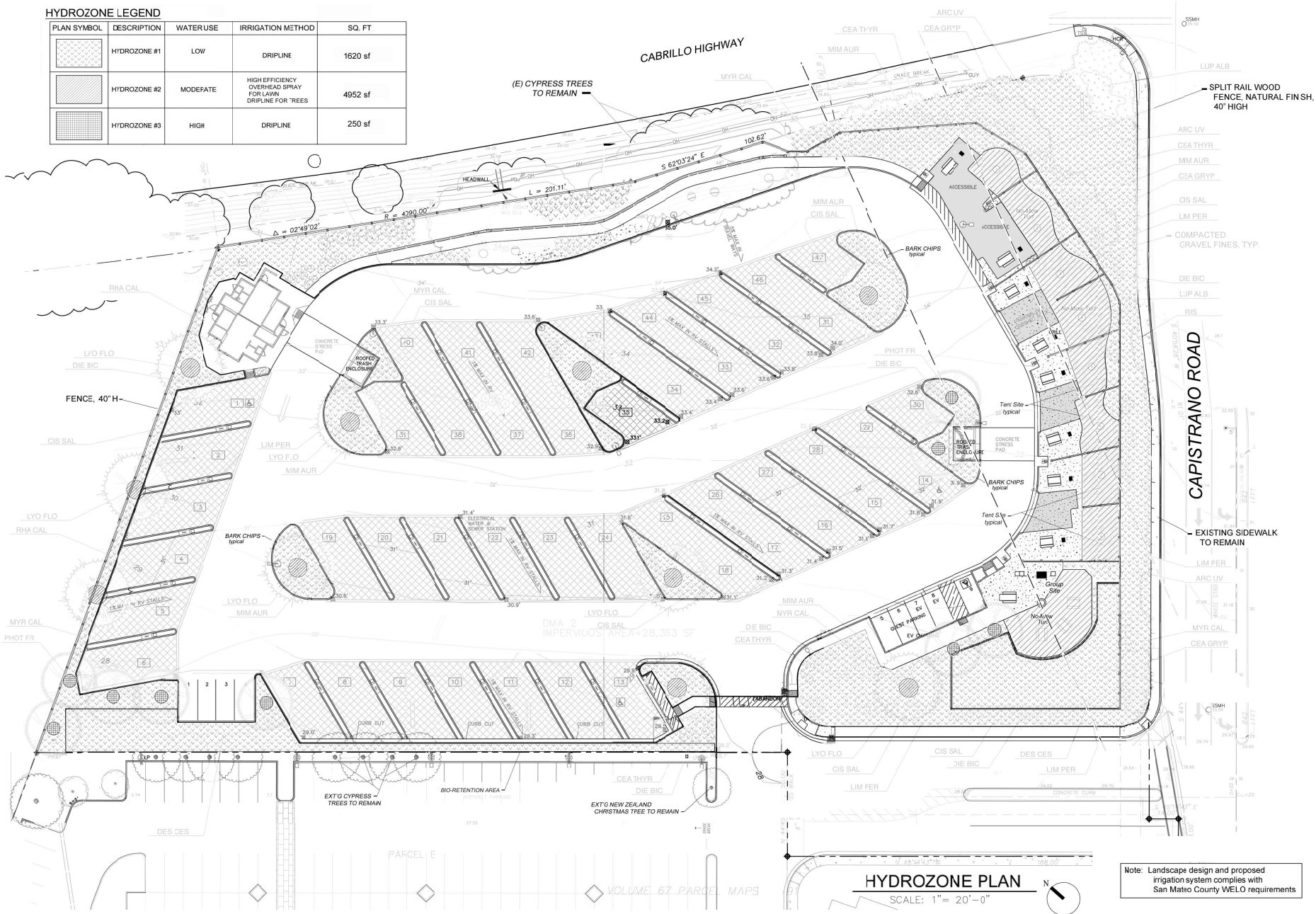
PROJECT

DATE 2-24-20

SHEET # L 2.2

HYDROZONE LEGEND

PLAN SYMBOL	DESCRIPTION	WATER USE	IRRIGATION METHOD	SQ. FT
	HYDROZONE #1	LOW	DRIPLINE	1620 sf
	HYDROZONE #2	MODEFATE	HIGH EFFICIENCY OVERHEAD SPRAY FOR LAWN DRIPLINE FOR TREES	4952 sf
	HYDROZONE #3	HIGH	DRIPLINE	250 sf



HYDROZONE PLAN

SCALE: 1" = 20'-0"



Note: Landscape design and proposed irrigation system complies with San Mateo County WELO requirements

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 Redwood City, California 94063
 Tel (650) 346-7645
 Fax (650) 367-8139
 Email: bcd@lpcglobal.net



HARBOR VILLAGE RV PARK
 100 Capistrano Road Half Moon Bay, California

TITLE

HYDROZONE PLAN

REVISIONS

Date	Notes

PROJECT

DATE May 31, 2020

SHEET #

L 3.3

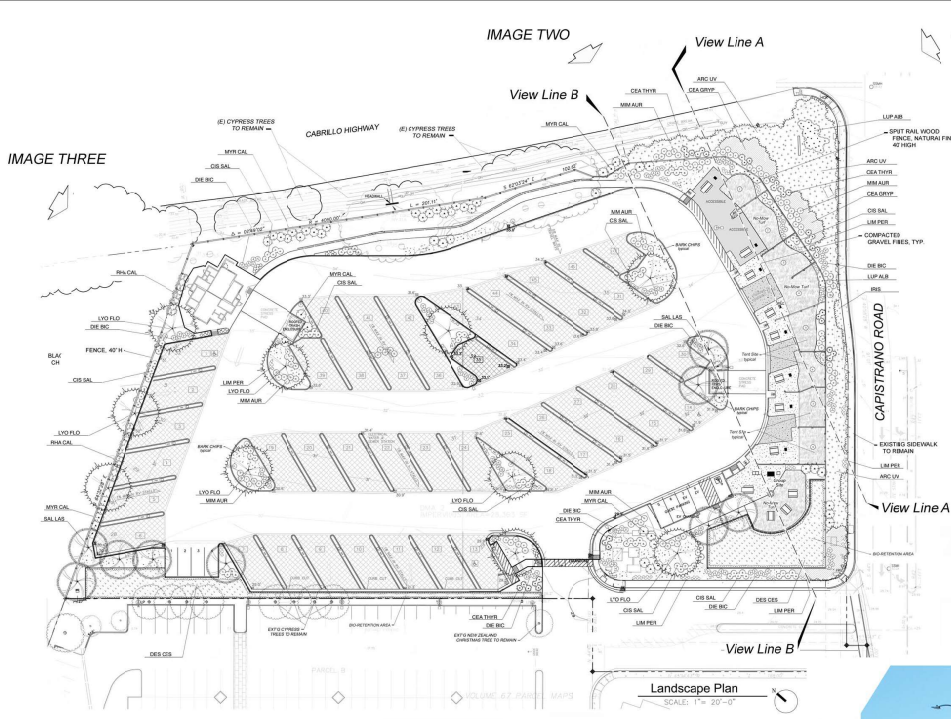


Image One



Image Two



Outline of Restrooms
(view of building hidden
from highway by existing trees)

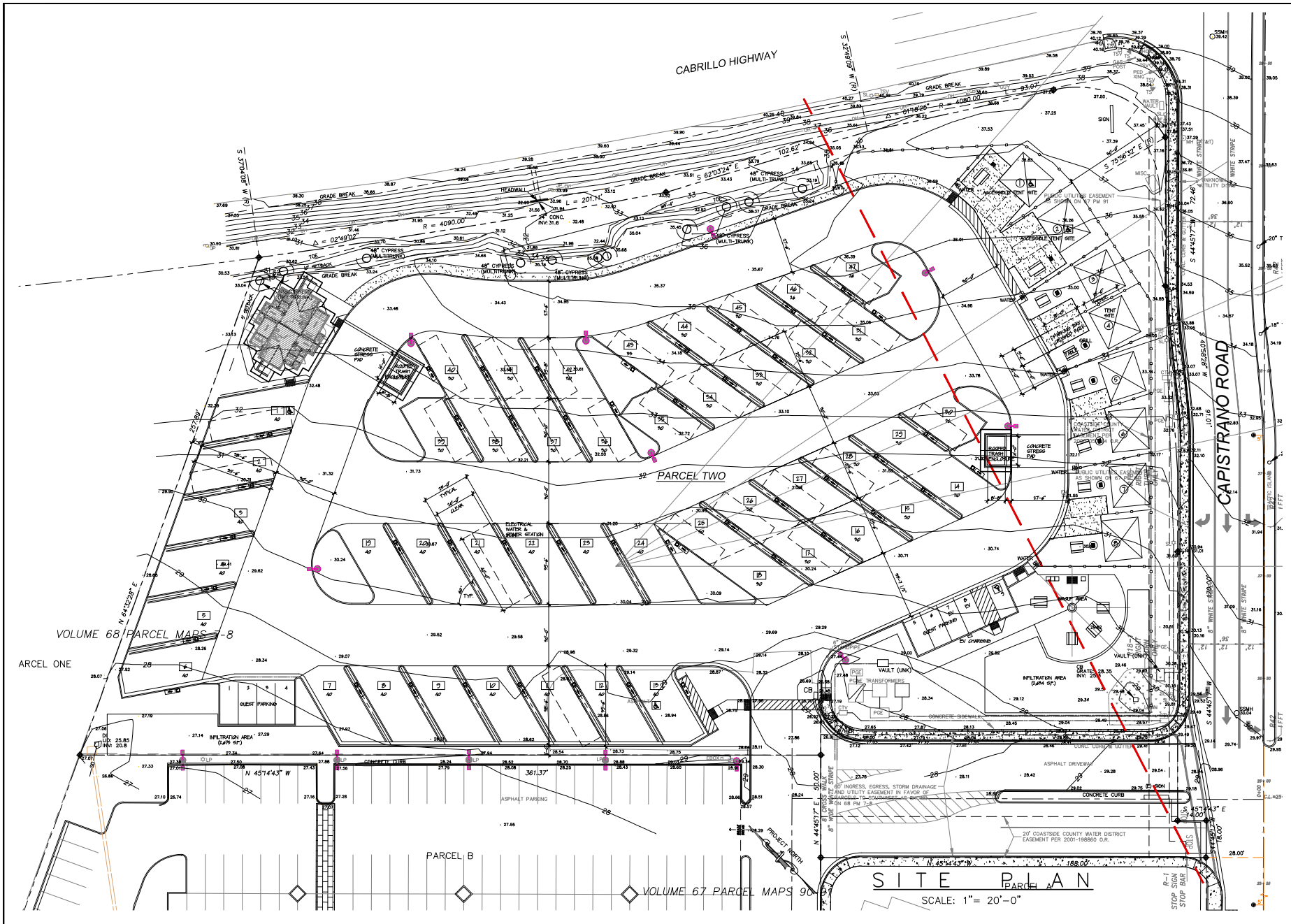
Image Three

View from Highway One, southbound,
w/ landscape screening

Land Planning Concepts
CA Lic. # 002324
Landscape Architect
Environmental Design
Site Planning
923 Arguello Street, Suite 200
Redwood City, California 94063
Tel (650) 346-7645
Fax (650) 367-8139
Email: bca@lpcglobal.net


HARBOR VILLAGE RV PARK
100 Capistrano Road Half Moon Bay, California

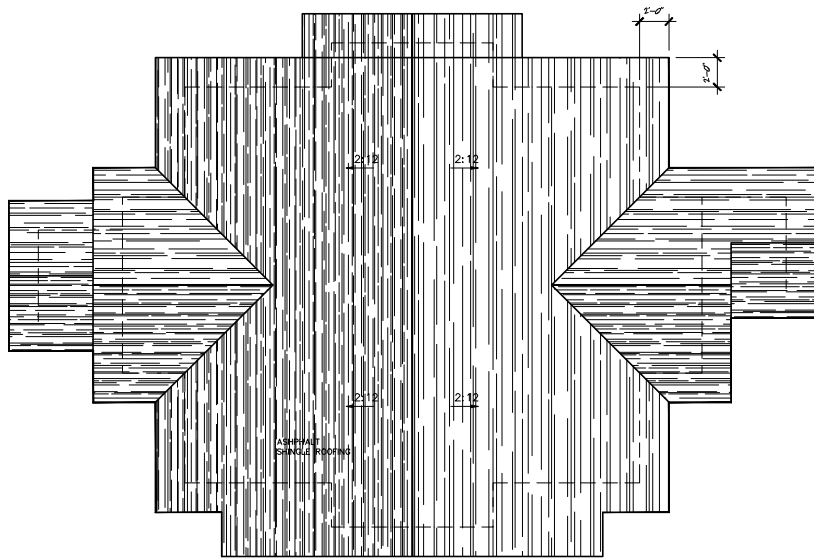
TITLE	
Landscape Site Renderings	
REVISIONS	
Date	Notes
4-21-20	Modify Perspective Views to match view layout
PROJECT	
DATE	Jan 3, 2018
SHEET #	
L 5.1	



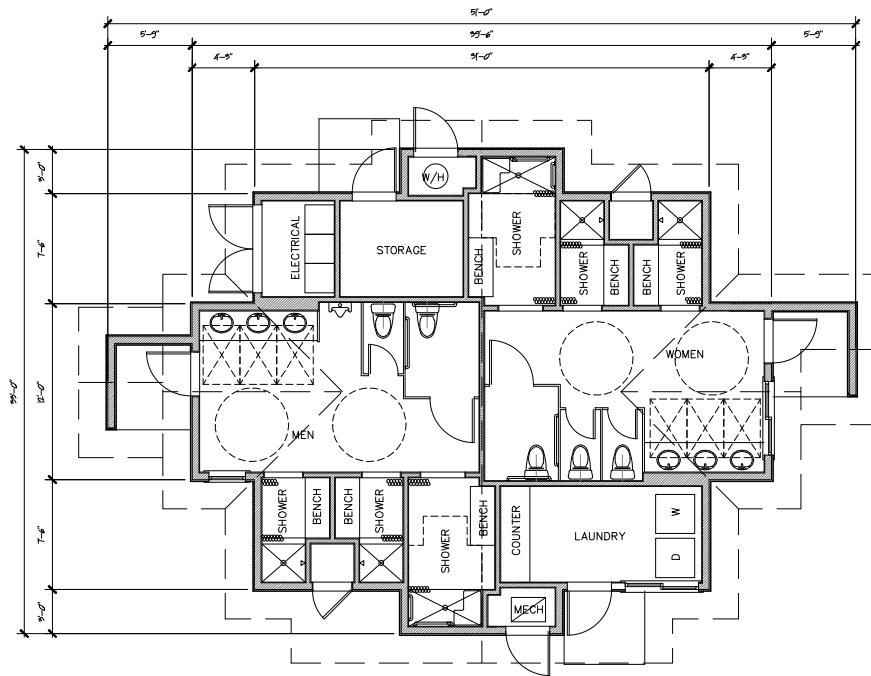
SITE PLAN

SCALE: 1" = 20'-0"

<p>Jacobson & Associates ARCHITECTS</p>	
<p>63 Monte Carlo Way, Mission Canyon, California 94003 Telephone: 650 / 750 - 3131 e-mail: jacobson@jacobsonarch.com</p>	
<p>STAMP</p> 	
<p>HARBOR VILLAGE RV PARK 100 CAPISTRANO RD. HALF MOON BAY, CA</p>	
<p>POINT PILLAR PROJECT DEVELOPERS, LLC HALF MOON BAY, CA</p>	
<p>SHEET TITLE</p> <p>SITE PLAN</p>	<p>NO. 17489</p> <p>DATE: 5/7/19</p> <p>DESIGNED BY: JAC</p> <p>DRAWN BY: EAJ</p> <p>FILE NAME: 17489</p> <p>CHECKED: JAC</p> <p>DATE: 11-14-17</p>
<p>SCALE</p> <p>1" = 20'-0"</p>	<p>SHEET NO.</p> <p>A1C</p> <p>PLANNING</p>



ROOF PLAN



FLOOR PLAN

Jacobsen & Associates
ARCHITECTS

63 Monte Carlo Way, Inglewood, California 90403
Telephone: 656 / 750-3131 e-mail: info@jacobsenarch.com



HARBOR VILLAGE RV PARK
100 CAPISTRANO RD.
HALF MOON BAY, CA

POINT PILLAR PROJECT DEVELOPERS, LLC
HALF MOON BAY, CA

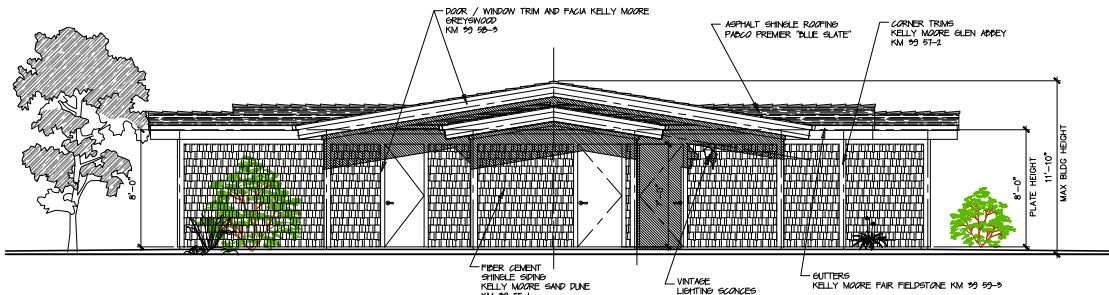
SHEET TITLE	GROUND FLOOR & ROOF PLAN	
NO.	REVISIONS	DATE
17489	REVISIONS	5/7/19
	REVISIONS	12/7/18
	REVISIONS	12/28/18
PROJECT NO.	17489	
DRAWN BY	EJH	
FILE NAME		
CHECKED		
DATE	11-14-17	

SCALE 1/4" = 1'-0"

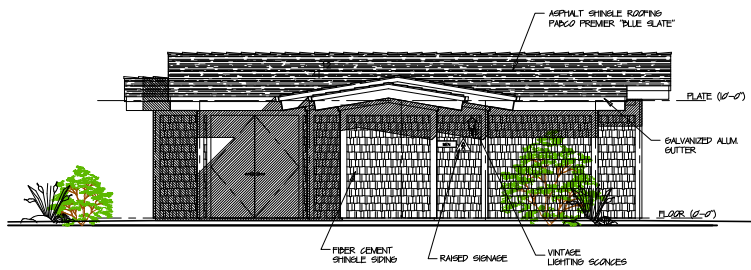
SHEET NO.

A2C

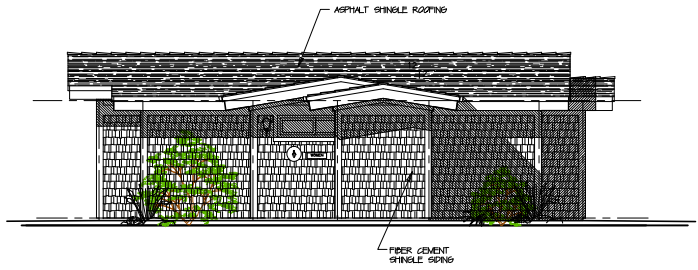
PLANNING



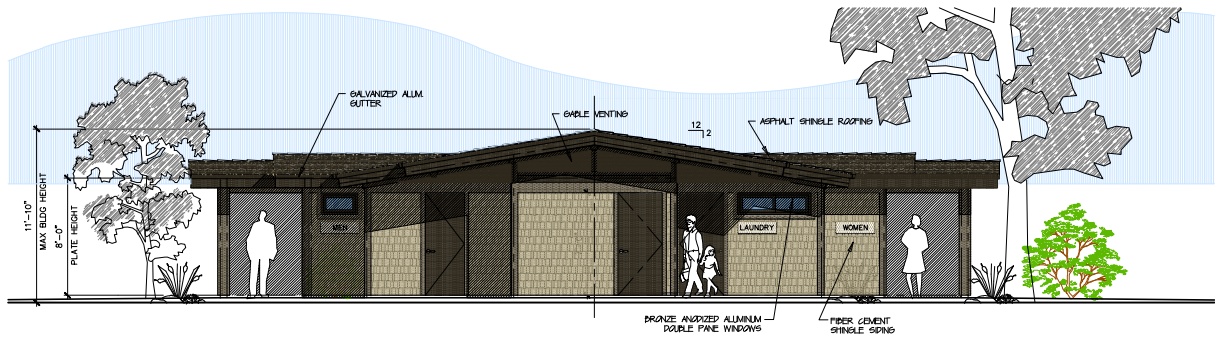
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

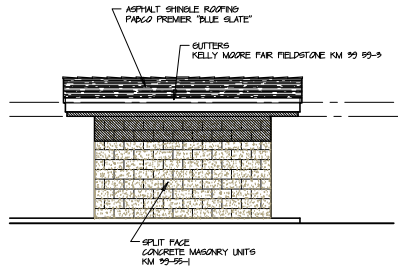
Jacobsen & Associates
ARCHITECTS
14000 Canyon Blvd., Suite 400
Boulder, CO 80501
Phone: 303.440.5131
e-mail: info@jacobsenarch.com



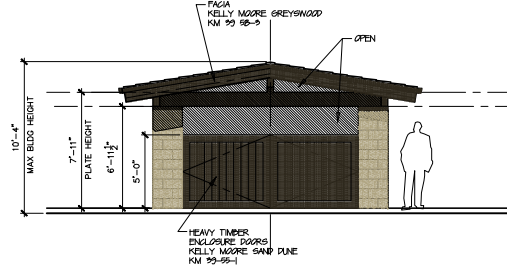
HARBOR VILLAGE RV PARK
100 CAPISTRANO RD.
HALF MOON BAY, CA
POINT PILLAR PROJECT DEVELOPERS, LLC
HALF MOON BAY, CA

EXTERIOR ELEVATIONS	
NO.	REVISIONS
1	PLANNING REVISIONS 3/4/18
2	PLANNING REVISIONS 12/7/18
3	PLANNING REVISIONS 12/28/18
DATE:	11-14-17

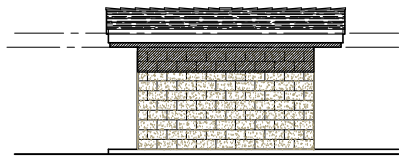
SHEET NO.
A3C
PLANNING



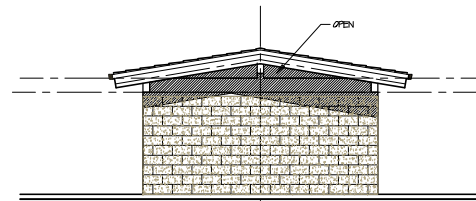
EAST ELEVATION
SCALE 1/4" = 1'-0"



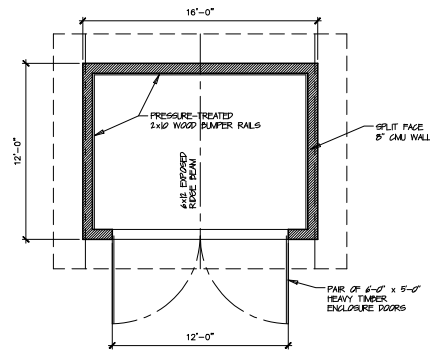
NORTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



FLOOR PLAN
SCALE 1/4" = 1'-0"

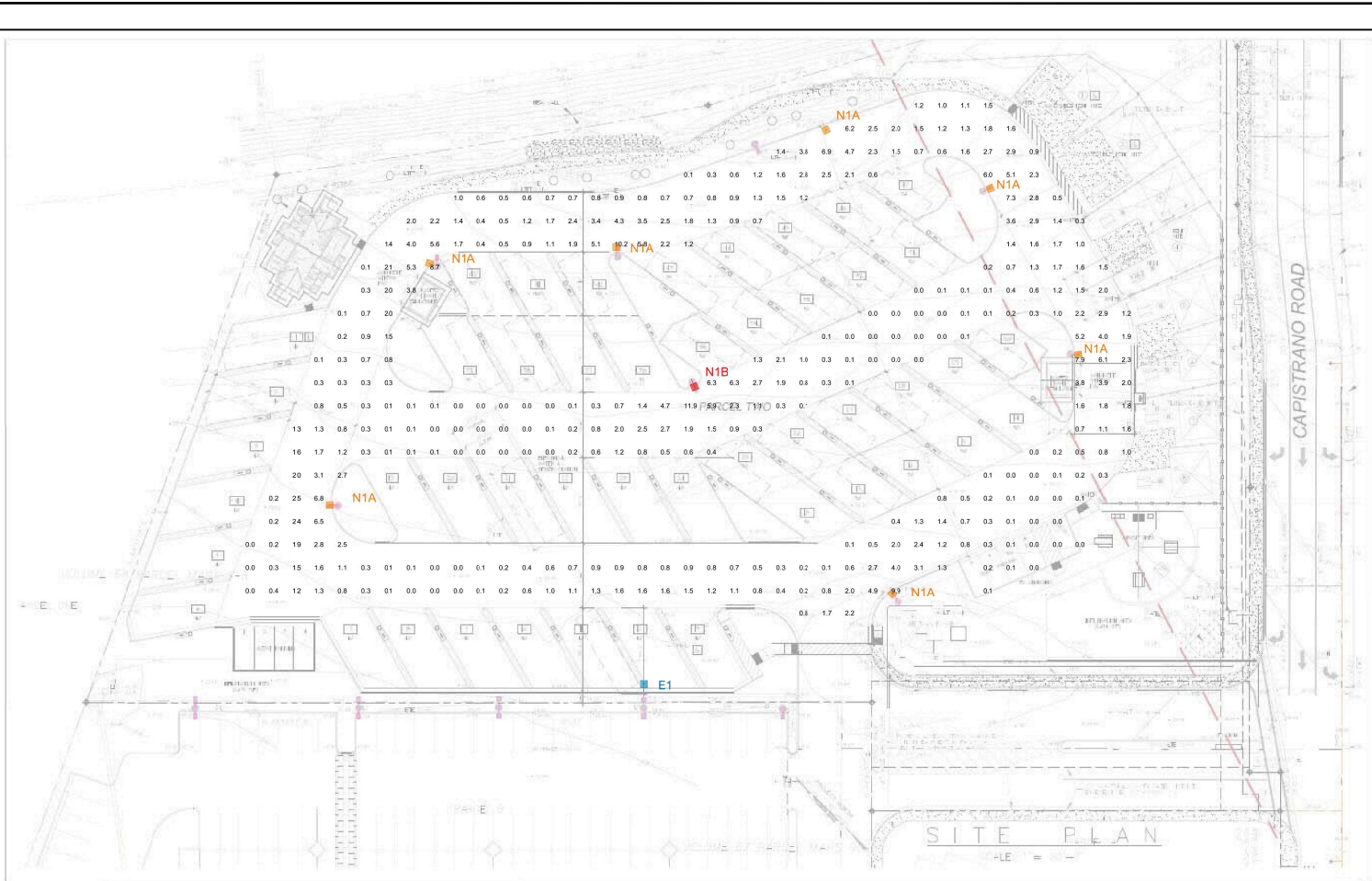
Jacobsen & Associates
ARCHITECTS
14000 S. Harbor Blvd., Suite 200
San Diego, CA 92161
Tel: 619.584.7777 Fax: 619.584.7778
www.jacobsenandassociates.com



HARBOR VILLAGE RV PARK
100 CAPISTRANO RD.
HALF MOON BAY, CA
POINT PILLAR PROJECT DEVELOPERS, LLC
HALF MOON BAY, CA

TRASH ENCLOSURE	
PROJECT NO. 17489	DATE: 3/4/18
DESIGNER: E.H.J.	PLANNING REVISIONS: 3/4/18
CHECKER:	PLANNING REVISIONS: 12/28/18
DATE: 11-14-17	

A4C
PLANNING



Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
	7	N1A	SINGLE	0.950	NV-1-T3-32L-7-40K-SINGLE @ 15 1/2'	71
	1	N1B	SINGLE	0.950	NV-1-T2-32L-7-40K-SINGLE @ 15 1/2' MTG.HT	71
	1	E1	SINGLE	0.950	NV-1-T4-48L-1-40K-SINGLE @ 22' MTG.HT	156

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.35	11.9	0.0	N.A.	N.A.

**HARBOR VILLAGE RV
NLS LIGHTING
REV 7
4/3/20**

Jacobsen & Associates
ARCHITECTS



**HARBOR VILLAGE RV PARK
100 CAPISTRANO RD.
HALF MOON BAY, CA**
POINT PILLAR PROJECT DEVELOPERS, LLC
HALF MOON BAY, CA

PHOTOMETRIC PLAN

PROJECT NO.	17489
DATE	4/3/20
DESIGNER	EHJ
CHECKER	EHJ
DATE	11-14-17

E1
PLANNING

NOT FOR PRODUCTION



SD SIGN DESIGNS
INCORPORATED
 170228 RI / 1 OF 2
 P.O. Box 4590 / 204 Campus Way, Moorpark, CA 93550 / Office 209.524.4484 / Fax 209.931.0272 / Lic#288001

MEMBER
 CSA
 WESA
 ISA

NOTICE TO THE CUSTOMER
 Note: The colors depicted on this rendering may not match actual colors when on the finished sign. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The projection of signs shown on building & landscape area photos is an approximate representation.

CUSTOMER APPROVAL
 ACCEPTED W/ NO CHANGES
 ACCEPTED W/ CHANGES AS NOTED
 REVISE AS NOTED AND RESUBMIT

BY: CUSTOMER BY: LANDLORD
 DATE: _____ DATE: _____

DATE	BY	DATE	BY
04.11.17	RS	17	RS
11.08.17	RS		

11.08.17 RI / RI / ADDRESS CHANGE, NEW DESIGN NUMBER, NAME CHANGE TO HARBOR VILLAGE FROM PRINCETON

COMPANY OR JOB NAME / JOB DESCRIPTION **170228/42365 RI**

PRINCETON HARBOR RV PARK
 REFACES FOR TWO EXISTING DF ILLUMINATED SIGN CABINETS PROJECT

ADDRESS: **100 CAPISTRANO ROAD HALF MOON BAY CALIFORNIA 94019**

SALESPERSON: **DOUG SMITH** CUSTOMER CONTACT: **XXXXXX**

NAME / DATE: _____

© 2017

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By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, duplication and/or manufacturing to another sign company, architectural company or other business entity for the purpose or reuse of intellectual property or for use as intellectual property, with or without, limited to, a company sign, unless the represented sign was provided to Sign Designs by the customer and kept on file in this drawing document by a Sign Design employee.

1 OF 2

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. ALL MEASUREMENTS SHOWN IN THIS DRAWING ARE NOMINAL UNTIL THE "NOT FOR PRODUCTION" STAMP HAS BEEN REMOVED.

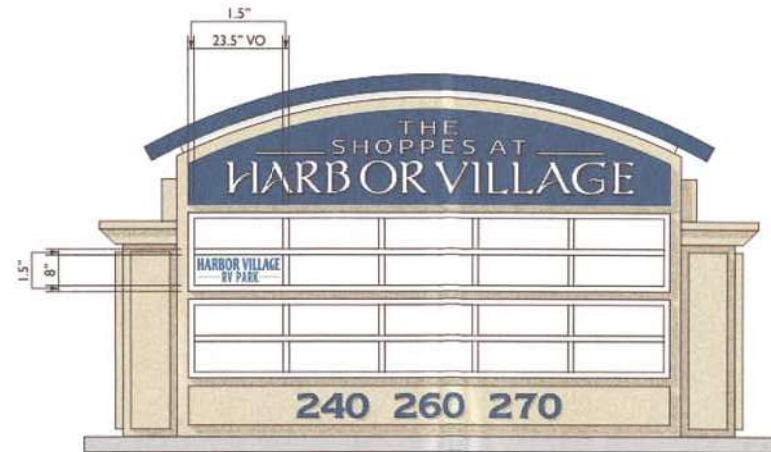


SIGN A / EXISTING DF ILLUM CABINET / REFACES
0.375" = 1'-0"

QTY (2 TOTAL)



SIGN A / EXISTING DF ILLUM CABINET / REFACES QTY (2 TOTAL)
0.375" = 1'-0"



SIGN B / EXISTING DF ILLUM CABINET / REFACES
0.375" = 1'-0"

QTY (2 TOTAL)



SIGN B / EXISTING DF ILLUM CABINET / REFACES
0.375" = 1'-0"

QTY (2 TOTAL)

**SIGNS A & B:
TENANT COPY FACES**

FACES: REMOVE EXISTING VINYL & REUSE EXISTING 3/16" WHITE POLYCARBONATE FACES W/ NEW FIRST SURFACE VINYL DECORATIONS (OPTIONAL NEW FACES) **VINYL:** 3630-157 SULTAN BLUE, 3630-51 SILVER GREY
RETAINERS: (SIGN A) EXISTING 1.5" (FACE), 2.5" DEEP (SIDES) FLAT STYLE ALUMINUM, (SIGN B) EXISTING 1.5" FLAT STYLE ALUMINUM **MECHANICAL DIVIDERS:** (SIGN A) EXISTING 2.5", (SIGN B) EXISTING 1.5" EXTRUDED ALUMINUM
NOTE: (SIGN B) THE VERTICAL DIVIDERS ARE 1.5" WIDE FLAT ALUMINUM BAR ONLY **REMOVALS:** **NOTE:** THERE HAS NOT BEEN AN OFFICIAL SURVEY COMPLETED AS OF 06.22.17
NOTE: AS OF 06.22.17 THERE HAS NOT BEEN A REQUEST TO REPAINT, REPAIR, REWIRE, RELAMP OR REPLACE ANY MISSING OR DAMAGED COMPONENTS OF THE EXISTING SIGN STRUCTURE(S)

SCOPE OF WORK: FABRICATE & INSTALL (2) TWO NEW FACES FOR EACH SIGN (4 TOTAL FACES)

THE RECTANGLES SHOWN HERE REPRESENT THE VISUAL OPENING MEASUREMENT, NOT THE FACE CUT SIZES OR THE RETAINERS

NOT FOR PRODUCTION

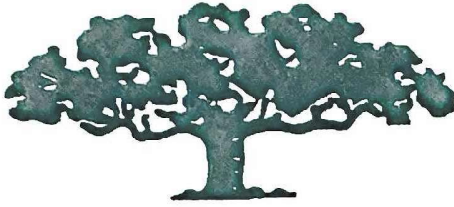
 P.O. BOX 4590 / 204 CAMPUS WAY, MODESTO, CA 95350 / OFFICE 209.524.4484 / FAX 209.521.0372 / LIC#61818001	MEMBER 	NOTICE TO THE CUSTOMER <small>Note: The colors depicted on this rendering may not exactly match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all electrical inspections are NOT included in this sign proposal. Also, the projection of signs shown on building & landscape area photos is an approximate representation.</small>	CUSTOMER APPROVAL <input type="checkbox"/> ACCEPTED W/ NO CHANGES <input type="checkbox"/> ACCEPTED W/ CHANGES AS NOTED <input type="checkbox"/> REVISE AS NOTED AND RESUBMIT BY: CUSTOMER BY: LANDLORD DATE: _____ DATE: _____	<table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>06.11.17</td> <td>RL</td> <td>07</td> <td>RL</td> </tr> <tr> <td>11.08.17</td> <td>RL</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	DATE	BY	DATE	BY	06.11.17	RL	07	RL	11.08.17	RL															COMPANY OR JOB NAME / JOB DESCRIPTION PRINCETON HARBOR RV PARK REFACES FOR TWO EXISTING DF ILLUMINATED SIGN CABINETS PROJECT ADDRESS: 100 CAPISTRANO ROAD HALF MOON BAY CALIFORNIA 94019 SALESPERSON: DOUG SMITH CUSTOMER CONTACT: XXXXX	170228/42365 RI NAME / DATE 2 OF 2
	DATE	BY	DATE	BY																										
	06.11.17	RL	07	RL																										
	11.08.17	RL																												
COPYRIGHT 2017 This drawing was created to serve you in visualizing our projects. The original files herein are the property of Sign Design. Permission to copy or reuse this drawing can only be obtained thru a written agreement w/ Sign Design. See your sales representative or call Sign Design.		By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, duplication and/or manufacturing to another sign company, architectural company or other business entity for the purpose of reuse of manufacturing or for use as mechanical property, such as, but not limited to, a company logo, unless the represented logo was provided to Sign Design by the customer and input into this drawing document by a Sign Design employee.		ALL MEASUREMENTS SHOWN IN THIS DRAWING ARE NOMINAL UNTIL THE "NOT FOR PRODUCTION" STAMP HAS BEEN REMOVED																										
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.																														

11.08.17 RL/RI / ADDRESS CHANGE, NEW DESIGN NUMBER, NAME CHANGE TO HARBOR VILLAGE FROM PRINCETON



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT G



Mayne Tree Expert Company, Inc.

ESTABLISHED 1931

STATE CONTRACTOR'S LICENSE NO. 276793

CERTIFIED FORESTER • CERTIFIED ARBORISTS • PEST CONTROL • ADVISORS AND OPERATORS

RICHARD L. HUNTINGTON
PRESIDENT

535 BRAGATO ROAD, STE. A
SAN CARLOS, CA 94070-6311

JEROMEY INGALLS
CONSULTANT/ESTIMATOR

August 26, 2020

TELEPHONE: (650) 593-4400
FACSIMILE: (650) 593-4443
EMAIL: info@maynetree.com

Mr. Ronald Stefanick
Harbor Village RV Park
100 Capistrano Rd.
Half Moon Bay, CA 94019

Dear Mr. Stefanick,

The following is my response to the county's comments on the potential impacts from the proposed handicap walkway. This walkway is to be on the opposite side of the structure from the cypress trees.

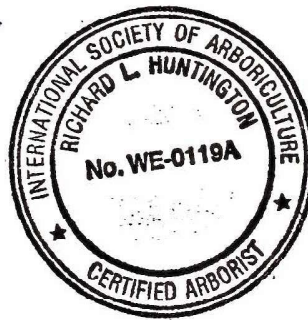
This pathway will not impact any of the cypress trees. The proposed structure will have already done any potential root cutting. This issue has been addressed in previous letters.

Also, I am in approval of the tree protection detail as shown on the civil drawings sheet C-3.

Sincerely,

Richard L. Huntington
Certified Arborist WE #0119A
Certified Forester #1925

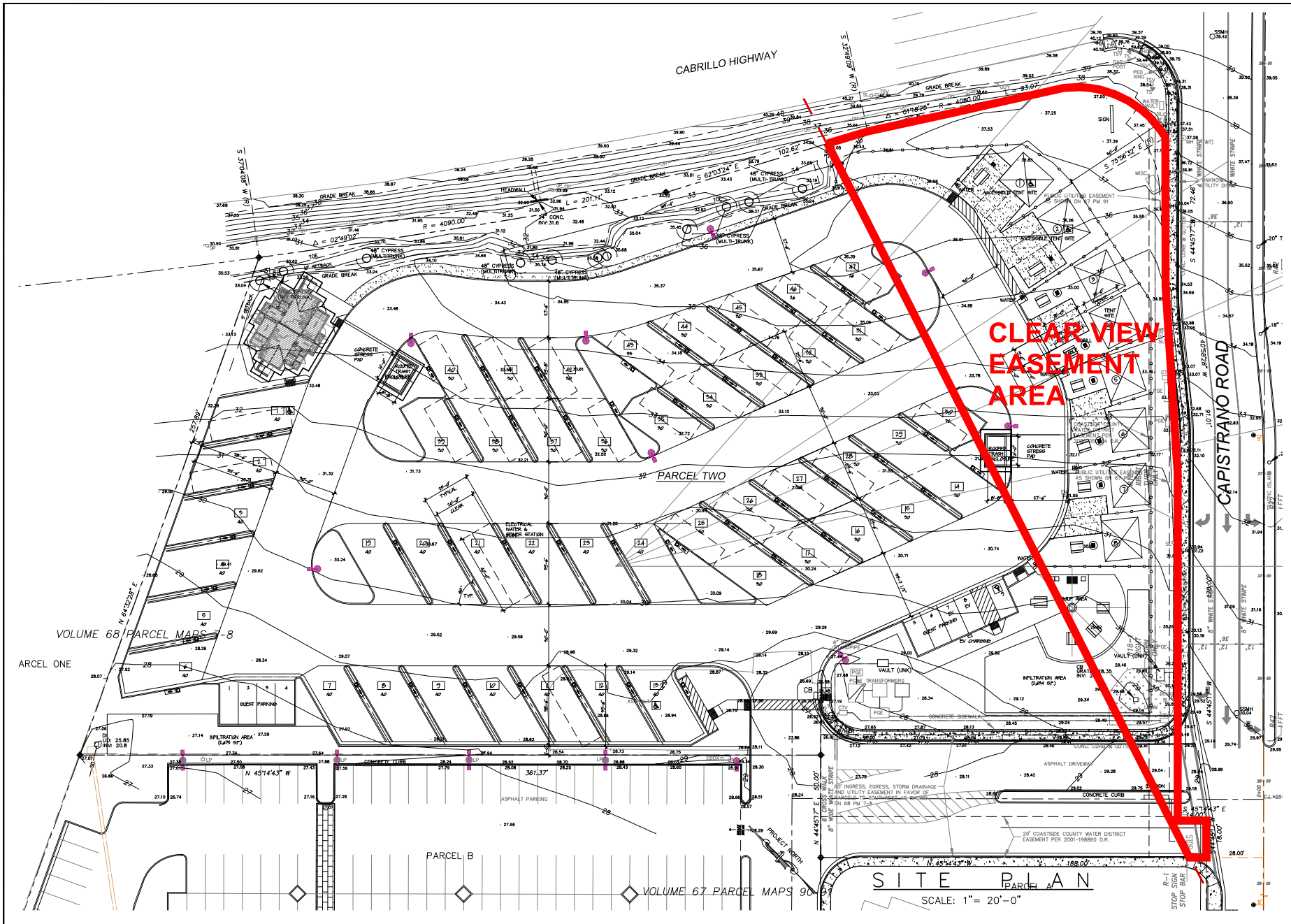
RLH:lg





COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT H



Jacobson & Associates
ARCHITECTS
 63 Monte Carlo Way, Mission Canyon, California 94003
 Telephone: 650 / 750 - 3131 • Fax: 650 / 750-3132 • www.jacobsonarchitect.com

LICENSED ARCHITECT
 STATE OF CALIFORNIA
 No. 10434
 EXPIRES: 2/29/21

STAMP

HARBOR VILLAGE RV PARK
 100 CAPISTRANO RD.
 HALF MOON BAY, CA

POINT PILLAR PROJECT DEVELOPERS, LLC
 HALF MOON BAY, CA

SHEET TITLE
 SITE PLAN

NO.	REVISIONS	DATE
1	PLANNING REVISIONS	5/7/19
2	PLANNING REVISIONS	12/7/19
3	PLANNING REVISIONS	5/14/20

SCALE
 1" = 20'-0"

SHEET NO.
A1C

PLANNING

DATE: 11-14-17