

August 22, 2019

Raj Mithal
C/o Arti Mithal
724 Main Street
Half Moon Bay, CA 94019

Dear Mr. Mithal:

SUBJECT: Coastside Design Review Continuation
208 Magellan Avenue, Miramar
APN 048-031-200; County File No. PLN 2018-00490

At its meeting of August 8, 2019, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review permit to allow construction of a new 2,109 sq. ft., 3-story single-family residence, plus a 250 sq. ft. 1-car attached garage, located on an existing 4,400 sq. ft. legal non-conforming parcel (legality confirmed via PLN 2017-00040), as part of a hearing-level Coastal Development Permit (CDP) and a Non-Conforming Use Permit (UP). The UP is required to allow a 1 covered parking space on-site where 2 spaces are required, 5 feet left side setback where 10 feet is the minimum, and development of the non-conforming parcel, where 10,000 sq. ft. is required by the S-94 Zoning District. The project does not involve tree removal and only minor grading. The project is not appealable to the California Coastal Commission.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are listed below.

Please submit 5 full-size sets of revised drawings and 1 reduced size set of drawings to address the following:

1. Height of building shall be corrected to comply with the maximum height of the S-17 Zoning District of 28 feet, as measured from natural grade to highest point of the structure. Please revise grading plans as necessary to be consistent with changes in project design.
2. Body color of building should be lighter. Please apply colors to the rendering drawing. Please provide 4 sets of color chips to the Project Planner.
3. Call out all material and color selections on building elevation drawings.



4. Building elevation drawings should be consistent (i.e. garage door design is not depicted consistently).
5. No flood lights are allowed, only dark-sky compliant fixtures. Please revise the light fixture choice and provide a manufacturer's cut sheet.
6. A more complete landscape plan shall be submitted to the Project Planner.

Also, please address the following:

7. Sample of roof material shall be submitted to the Project Planner.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Camille Leung, Senior Planner, at 650/363-1826 or cleung@smcgov.org , if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre, Design Review Officer

CML:DPA:cmc – CMLDD0425_WCN.DOCX

cc: Arti Mithal, Property Owner
Bruce Chan, Member Architect
Katie Kostiuik, Member Architect
Claire Toutant, Midcoast Community Council Chair (via email)
Paul McGregor, Interested Member of the Public (via email)

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SEP 09 2019

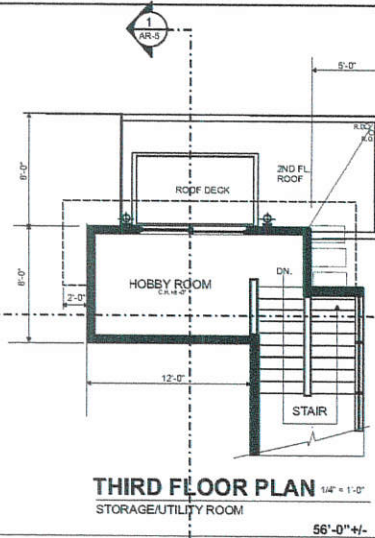
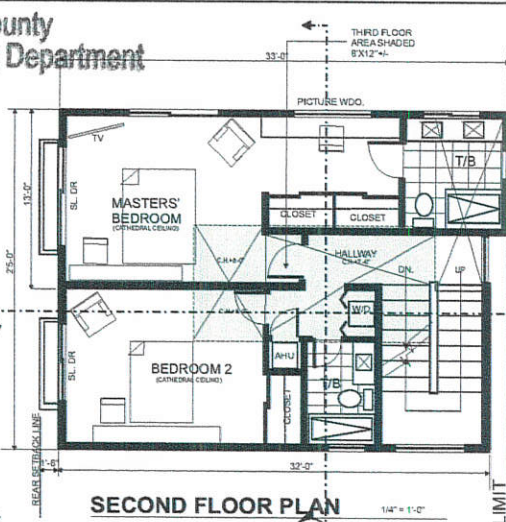
San Mateo County Planning and Building Department PROJECT ANALYSIS

DISTRICT: S-94 COMBINING DISTRICT-MIDCOAST
 SETBACKS: 10' AT SIDES
 MAX. HT.: 28'-0"
 LOT AREA: 40' X 110' = 4,400 S.F.

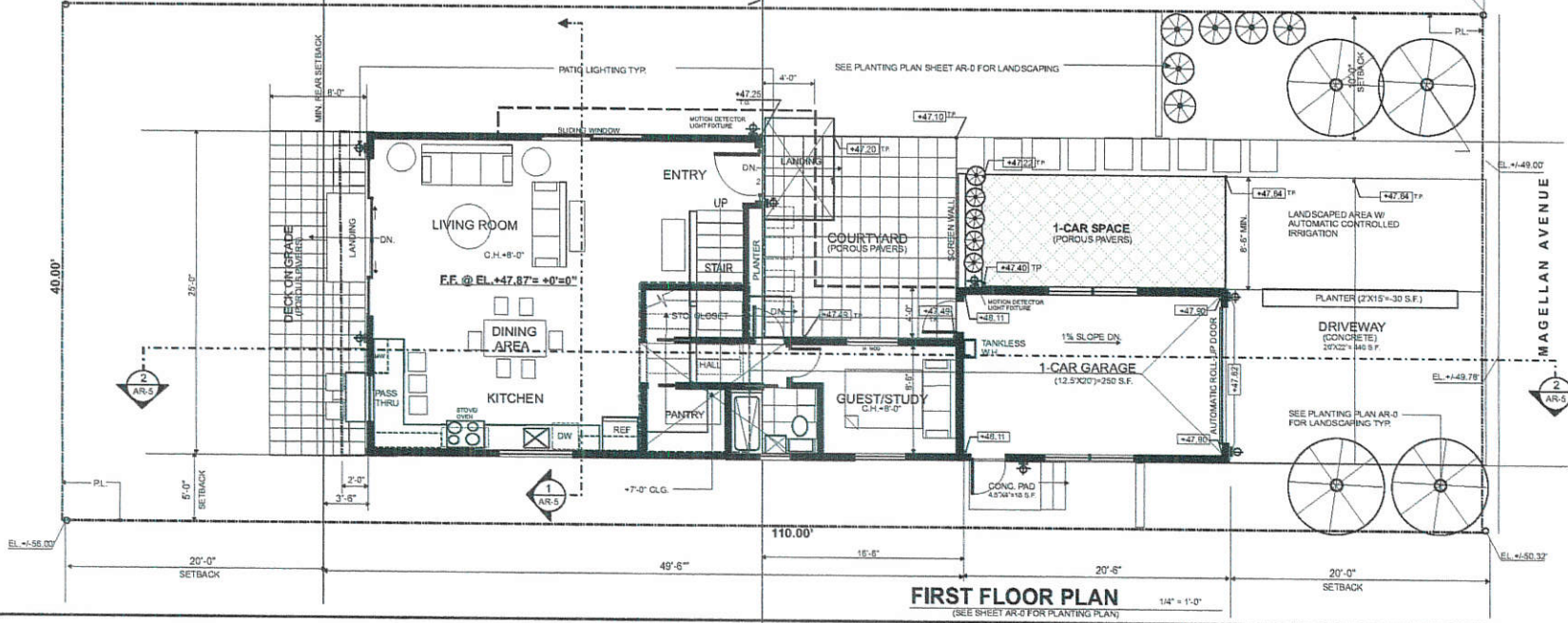
PROPOSED BUILDING AREAS:
 FIRST FLOOR: 950 S.F.
 SECOND FLOOR: 813 S.F.
 THIRD FLOOR: 96 S.F.
 GARAGE: 250 S.F.

GROSS FLOOR AREA: 2,109 +/- S.F.

FLOOR AREA RATIO: 47.93 % < 48 %
 LOT COVERAGE: 1,248 S.F. = 28.36 % < 30 %



INDEX TO DRAWINGS	
ARCHITECTURAL	
AR-1	FLOOR PLANS
AR-2	EXTERIOR ELEVATIONS AND ROOF PLAN
AR-3	EXTERIOR ELEVATIONS
AR-4	EXTERIOR SKETCH
AR-5	BUILDING SECTIONS
AR-0	PLANTING PLAN
REFERENCE DRAWINGS	
EXHIBIT 'A', AS PREPARED BY RANDY YICK, LAND SURVEYOR	
TOPOGRAPHIC SURVEY PREPARED BY SAVIOR MICALLEF	
C-dwgs. GRADING & UTILITIES PLANS PREPARED BY PRECISION ENGINEERING	



REVISIONS
11-30-18
01-14-19
02-07-19
02-08-19
02-20-19
03-14-19

DESIGNED BY: **ORRIS**
 ARCHITECTS
 2250 AVENUE 100, SUITE 200
 SAN MATEO, CA 94403
 TEL: (650) 881-1951 Email: INFO@ORRISARCH.COM

REVIEWED BY: _____
 APPROVED BY: _____
 JOB NO: _____

NEW MITHAL RESIDENCE
MAGELLAN AVENUE
HALF MOON BAY, CA

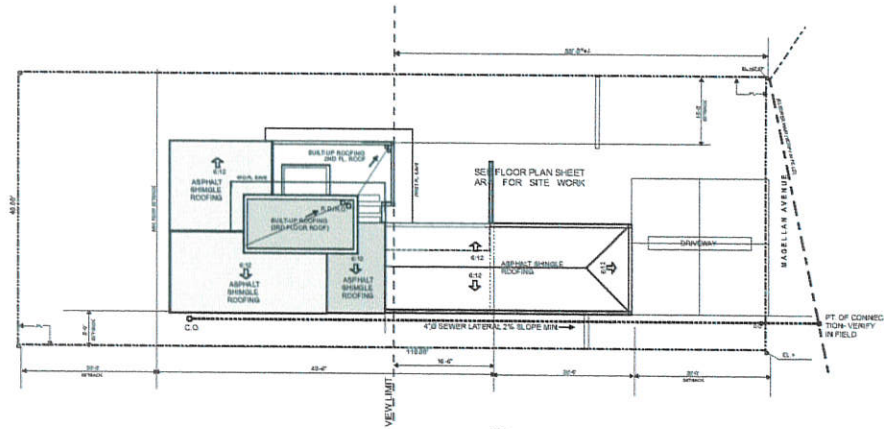
FLOOR PLANS

SHEET Number
AR-1
 1 OF 5
 DATE: 10/10/18

PLN2018-00490

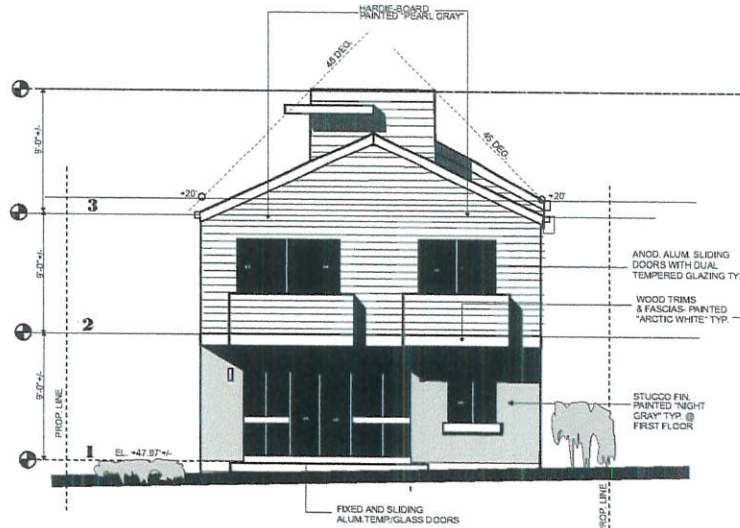
EXTERIOR MATERIALS AND FINISH SCHEDULE

EXTERIOR WALLS	<ol style="list-style-type: none"> 1. STUCCO SMOOTH FINISH PAINTED 'NIGHT GRAY' 2. SIMULATED 'HARDI-BOARD' OR EQUAL WOOD SIDING-PAINTED 'PEARL GRAY'
WINDOWS	BLACK ANODIZED ALUMINUM AND CLEAR GLASS (SLIDING, AWNING TYPE, ETC.)
DOORS	<ol style="list-style-type: none"> 1. WOOD FINISHED GARAGE ROLL-UP DOOR W/ AUTOMATIC GARAGE DOOR OPERATOR 2. SOLID WOOD CORE W/ METAL CLADDING ENTRY AND GARAGE SIDE DOOR 3. SLIDING BLACK ANODIZED ALUMINUM DOORS WITH CLEAR TEMPERED POL. PLATE GLASS 4. FIXED POL. PLATE GLASS PANELS ADJACENT SLIDING DOORS
ROOFING	<ol style="list-style-type: none"> 1. TAR AND GRAVEL ROOFING (25 YR. MIN. WARRANTY) FIRE RATED CLASS A 2. ASPHALT SHINGLE ROOFING CLASS B MIN, 25 YRS. AS SELECTED.



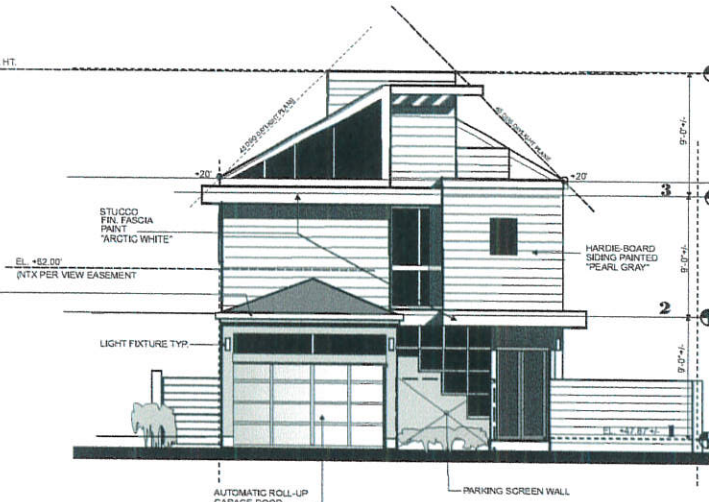
ROOF-SITE PLAN

(SEE SURVEY SHEET ATTACHED FOR INFORMATION ONLY)



REAR (SOUTH) ELEVATION

1/4" = 1'-0"



STREET (NORTH) ELEVATION

1/4" = 1'-0"

REVISIONS
11-15-18
11-30-18
01-14-19
02-14-19
02-19-19

ARISRUUS
 ARCHITECTS
 1400 RUZZANDA ASSOCIATES, INC.
 225
 701 MISSION STREET, SUITE 1001
 SAN FRANCISCO, CA 94103

REVIEWED BY
 APPROVED BY
 JOB NO.

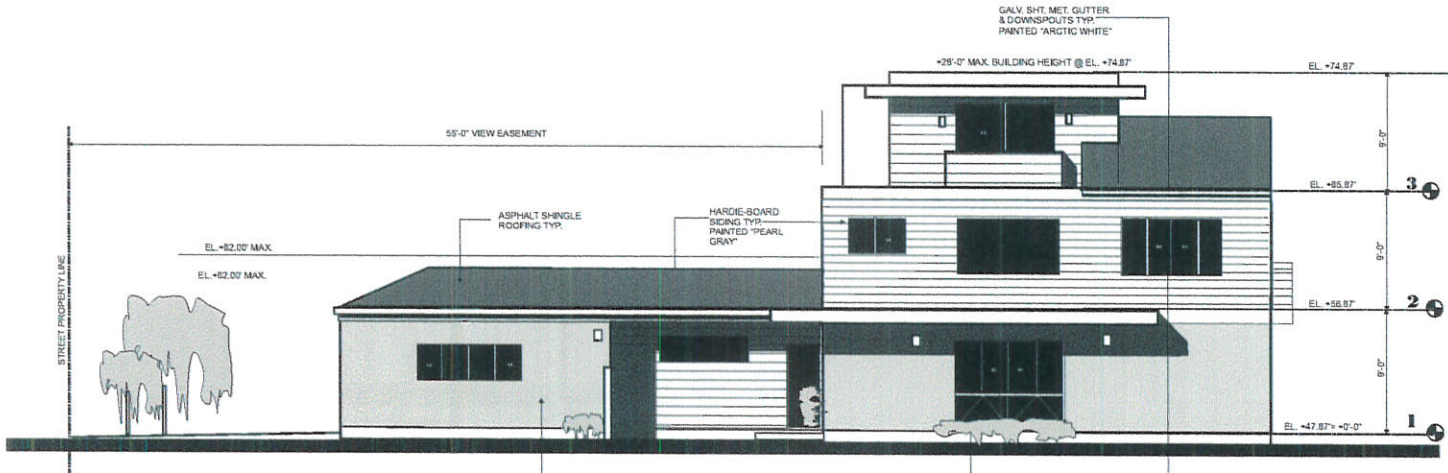
NEW MITHAL RESIDENCE
MAGELLAN AVENUE
HALF MOON BAY, CA

EXTERIOR ELEVATIONS
AND ROOF PLAN

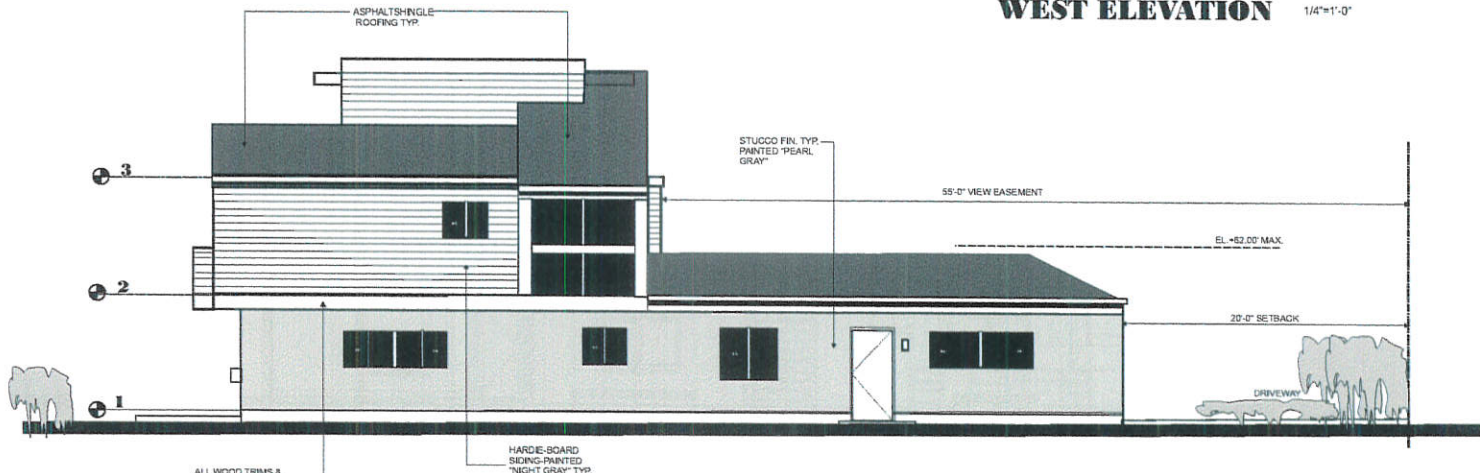
SHEET Number

AR-2

2 of 5
 DATE: 11/12/18



WEST ELEVATION 1/4"=1'-0"



EAST ELEVATION 1/4"=1'-0"

REVISIONS
11-15-18
11-30-18
01-14-19
03-04-19
06-05-19
08-26-19

PREPARED BY
ARISRUOIS
 ARRUZ AND ASSOCIATES, INC.
 724 (408) 288-1891 Email: arisruois@panorama.com

REVIEWED BY
APPROVED BY
DATE

NEW MITHAL RESIDENCE
MAGELIAN AVENUE
HALF MOON BAY, CA

EXTERIOR ELEVATIONS

SHEET Number
AR-3
 2 OF 5
 DATE: 11/12/18

REVISIONS
11-30-18
01-14-19
02-27-19
03-14-19
03-05-19
09-08-19

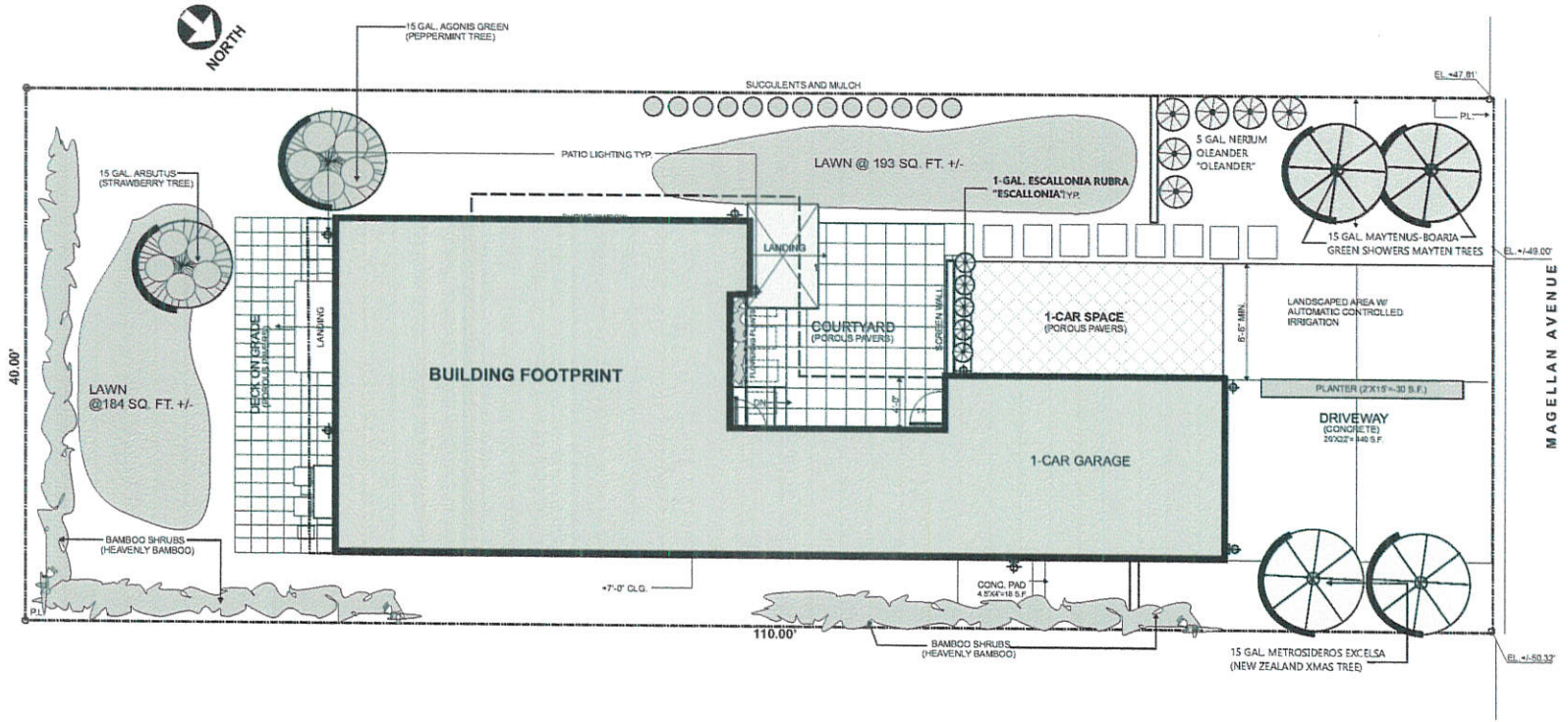
DESIGNED BY
ARISRUIS
 LANDSCAPE ARCHITECTS INC.
 7251 RIVERVIEW BLVD
 SAN DIEGO, CA 92121
 TEL (619) 595-1881 E-MAIL ARISRUIS@ARISRUIS.COM

REVIEWED BY	APPROVED BY	DATE

NEW MITHAL RESIDENCE
MAGELLAN AVENUE
 HALF MOON BAY, CA

PLANTING PLAN

SHEET Number
AR-0
 1 OF 1
 DATE: 10/10/18



TOTAL LANDSCAPED AREA = 2,497 S.F. +/-
 LAWN AREA = 377 S.F. TOTAL = 15% OF LANDSCAPED AREA <(MAX. = 25%)>

PLANTING PLAN 1/4" = 1'-0"



VICINITY MAP
N.T.S.

NEW RESIDENCE MAGELLAN AVENUE HALF MOON BAY, CA (SMCO) 94019

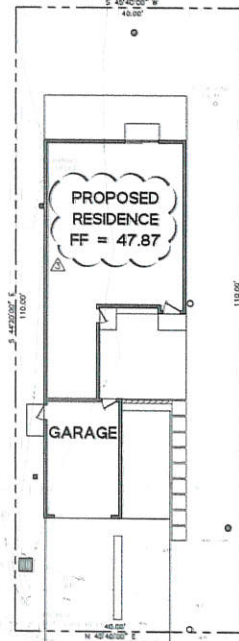


LOCATION MAP
N.T.S.

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BWF	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CORNER BRACE ELEVATION
CP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DO	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DIS	ROOF DRAIN SPOUT
DWY	DRIVEWAY
EI	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BRIM
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
INV	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
N	NEW
PV	POST INDICATOR VALVE
POC	POINT OF CONNECTION
RM	RM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCC	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCC	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SP	SEE PLUMBING PLANS
SPP	SANITARY SEWER
SDCC	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

CABRILLO HIGHWAY



MAGELLAN AVE
(40' R/W)

LEGEND

—	SANITARY SEWER
—	STORM DRAIN
---	STORM SUB-DRAIN (PERFORATED PIPE)
---	TRANSITION FROM PERF. PIPE TO SOLID PIPE
—	FORCE MAIN
—	FIRE WATER LINE
—	DOMESTIC WATER SERVICE
—	IRRIGATION SERVICE
—	NATURAL GAS
—	ELECTRIC
—	JOINT TRENCH
—	FENCE
—	CLEAN OUT
—	DOUBLE DETECTOR CHECK VALVE
—	POST INDICATOR VALVE
—	VALVE
—	METER BOX
—	STREET LIGHT
—	AREA DRAIN
—	CATCH BASIN
—	FIRE HYDRANT
—	FIRE DEPARTMENT CONNECTION
—	BENCHMARK
—	MANHOLE
—	SIGN
—	DOWNSPOUT
—	SPLASH BLOCK
—	CONTOURS
—	PROSPECTIVITY LINE
—	SETBACK
—	GRASS SWALE
—	RETAINING WALL / BUILDING STEM WALL
(E)	TREE TO BE REMOVED

SHEET INDEX

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-1	NOTES SHEET
C-2	GRADING AND UTILITY PLAN
C-3	EROSION AND SEDIMENT CONTROL PLAN
C-3.1	BEST MANAGEMENT PRACTICES (BMP)
C-4	DETAIL SHEET
C-4.1	DETAIL SHEET

HYDROLOGY

(A) IMPERVIOUS AREA	(B) IMPERVIOUS AREA	REQUIRED STORAGE VOL.	STORAGE VOL. FINISHED
0 SF	1,722 SF	126 CF	151 CF



EARTHWORK QUANTITIES

CUT	28 C.Y.
FILL	75 C.Y.
TOTAL TO BE MOVED	95 C.Y.
BALANCE	65 C.Y. FILL (IMPORT)

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.

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SEP 09 2019

San Mateo County
Planning and Building Department

PLN2018-00490

PRECISION ENGINEERING
CONSTRUCTION, INC.
1911 Wilshire Street
Redwood, CA 94061
Phone: 415.477.1500
Fax: 415.477.1509
www.precisionec.com

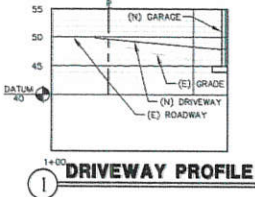
DATE:	RESPONSE:	COUNTY COMMENTS:	SITE REVISIONS:	SITE REVISIONS:
06/12/2019				
06/20/2019				
09/04/2019				



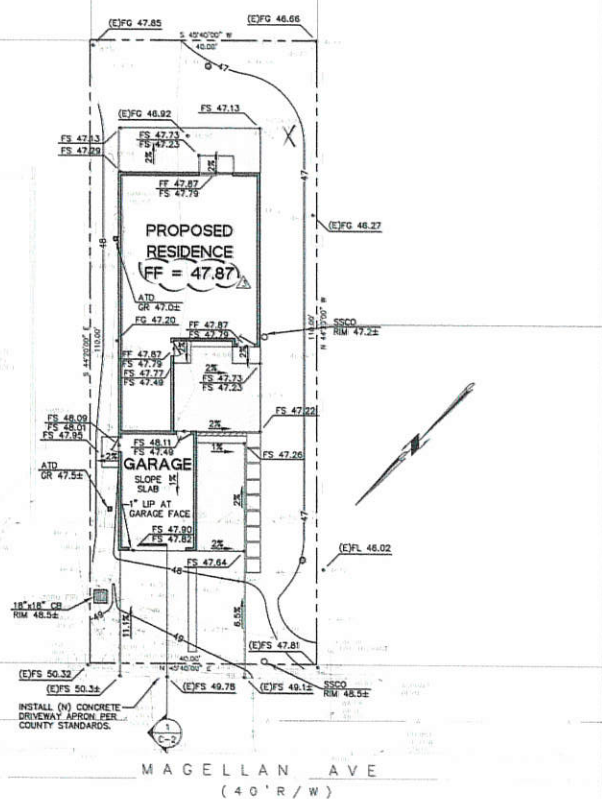
TITLE SHEET
NEW RESIDENCE
MAGELLAN AVENUE
HALF MOON BAY, CA (SMCO) 94019

Date:	03/13/2019
Scale:	AS SHOWN
Design:	TRL
Check:	TRL
Drawing Number:	C-0
Project No.:	PEC 19-003





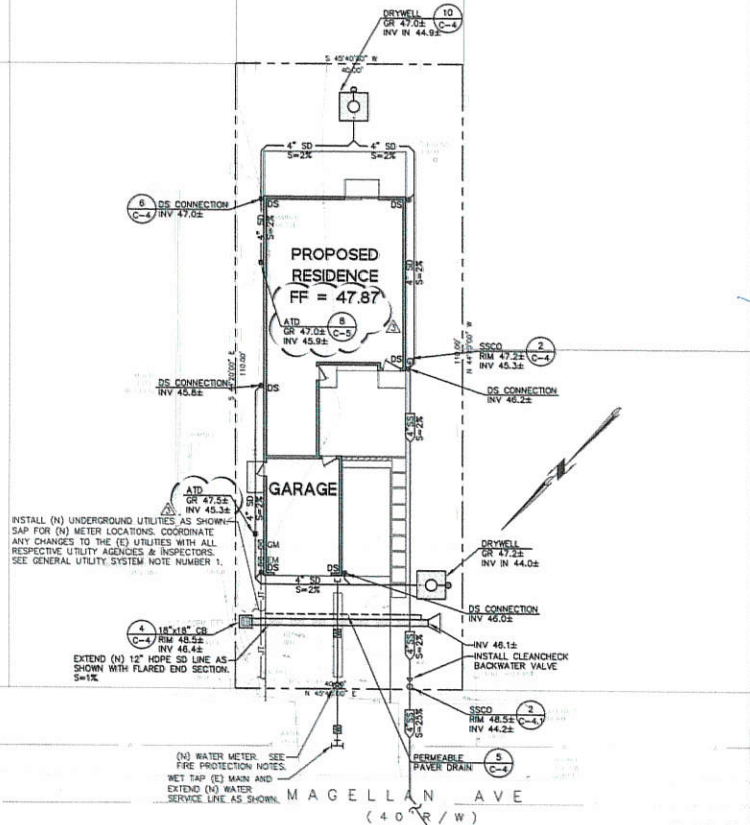
GRADING PLAN



PAVEMENT LEGEND:
 SEE GEOTECHNICAL REPORT BY GEOPROFENIS FOR EXACT PAVEMENT SECTIONS, OVER-EXCAVATION AND COMPACTION REQUIREMENTS. (SEE ARCHITECTURAL PLAN(S) FOR EXACT MATERIAL SELECTION.)

	CONCRETE	4" CONCRETE WITH BARS 12" O.C., EACH WAY OVER 8" OF CALTRANS CLASS 1 AGGREGATE BASE ROCK.		LANDSCAPE AREA
	PERMEABLE PAVERS	PERMEABLE PAVER OVER TO MESH REINFORCEMENT FABRIC OVER 60 CRUSHER ROLLS OVER 10" OF #57 GRADED AGGREGATE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR AND TYPE TO BE APPROVED BY THE OWNER PRIOR TO INSTALLATION. INSTALL EDGE CONSTRAINT SUCH AS A FLUSH CURB, SAP.		SAP, SLP.

UTILITY PLAN



INSTALL (N) UNDERGROUND UTILITIES AS SHOWN. SAP FOR (N) METER LOCATIONS. COORDINATE ANY CHANGES TO THE (E) UTILITIES WITH ALL RESPECTIVE UTILITY AGENCIES & INSPECTORS. SEE GENERAL UTILITY SYSTEM NOTE NUMBER 1.

(N) WATER METER. SEE FIRE PROTECTION NOTES.
 WET TAP (E) MAIN AND EXTEND (N) WATER SERVICE LINE AS SHOWN.

CONTRACTOR TO INSTALL 4" SS LINE AS SHOWN. FIELD LOCATE, POT-HOLE, AND CONNECT TO (E) MAIN AT INVERT 38.5± AND ENSURE THAT A 2% MINIMUM SLOPE CAN BE ACHIEVED PRIOR TO INSTALLATION. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE CIVIL ENGINEER PRIOR TO INSTALLATION.

SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



PRECISION ENGINEERING
 COUNTY COMMENTS
 DATE: 05/15/2019
 COUNTY COMMENTS: 05/20/2019
 DATE REVISIONS: 05/20/2019
 SITE REVISIONS: 05/20/2019

GRADING AND UTILITY PLAN
 NEW RESIDENCE
 MAGELLAN AVENUE
 HALF MOON BAY, CA (SMCO) 94019

Date: 03/13/2019
 Scale: 1" = 10'
 Designer: TRL
 Checker: TRL
 Drawing No.: C-2
 Project No.: PE 18-003

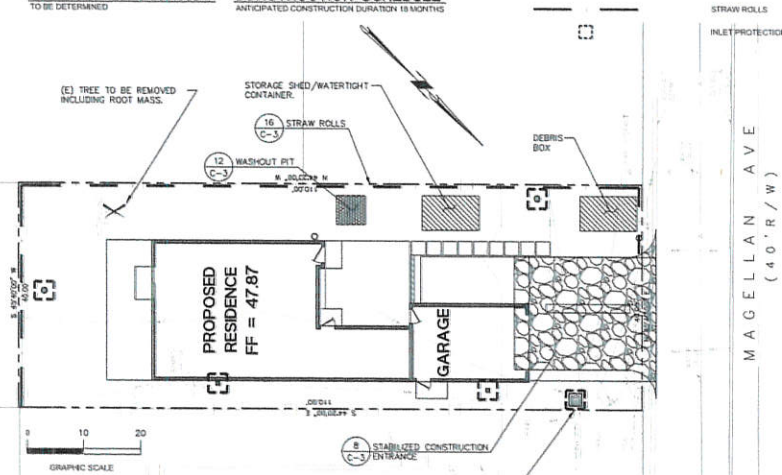
EG POINT OF CONTACT:
TO BE DETERMINED

CONSTRUCTION SCHEDULE:
ANTICIPATED CONSTRUCTION DURATION IS 18 MONTHS

EC SYMBOL LEGEND:

EROSION AND SEDIMENTATION CONTROL NOTES:

EROSION AND SEDIMENTATION CONTROL NOTES CONT.:



1. ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED. BY OCTOBER 15 AND SHALL CONTRIBUTE IN EFFECT UNTIL APRIL 30 OR UNTIL INSTALLATION OF THE PERMANENT SITE IMPROVEMENTS.
2. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN WHICH ARE SCHEMATIC MINIMUM REQUIREMENTS. THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
3. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
4. AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS IN THE STREET AND FROM THE EROSION CONTROL, SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
5. NECESSARY EROSION CONTROL MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN THIS IS NECESSARY.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS.
7. WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY GREYSTONE WEST AND/OR THE DISTRICT IN ORDER TO ENSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
8. WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
9. THE CONTRACTOR SHALL IMPLEMENT DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NEIGHBORS THAT ARE PROHIBITED BY RULE 403 (PNEUMATIC DUST).
10. GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST ENTERS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE AT ALL TIMES. THE SITE SHALL BE WATERED AS NECESSARY TO PREVENT DUST MISTRAKE, AND THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE HOME OWNER RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA VEHICLE TRAFFIC. THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOOPPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GRASS COVER IS ESTABLISHED OR IT MAY BE SEELED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FULL RAIN SEASON.
12. STOOPPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. COVER STOOPPILED MATERIAL WITH VEGGIEGUM OR A FARMFLEX MAT. THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOOPPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GRASS COVER IS ESTABLISHED OR IT MAY BE SEELED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FULL RAIN SEASON.
13. ANY SLOPES WITH DISTURBED SOIL OR DOLICUED OF VEGETATION MUST BE STABILIZED SO AS TO PREVENT EROSION BY WIND AND WATER.
14. ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPULINS OR OTHER EFFECTIVE COVERS.
15. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DEPOSITED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
16. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
17. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
18. CLEAN UP ALL SPLAS USING DRY METHODS.
19. CALL 911 IN CASE OF A HAZARDOUS SPILL.
20. SMP'S AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THE PROJECT. ALL CONSTRUCTION OPERATIONS SHALL REQUIRE THE BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEMS. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS.
21. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DICES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
22. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND GAMBARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN AND HOME OWNER. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WASH DUST AND OTHER NEIGHBORING BEING CONTROLLED AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION METHODS OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE RIGHT-OF-WAY IS PERMITTED.
23. UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.
24. THE CONTRACTOR SHALL ADHERE TO WATERSHED POLLUTION DISCHARGE ELIMINATION SYSTEM BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL, TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OF COUNTY STORM DRAIN SYSTEMS.
25. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE RECEPTION OF ANY WORK ON SITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PHASES SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
26. THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SHIELDS, SILT FENCES, AND EARTH PERIMS IN CONJUNCTION WITH PROPERLY INSTALLED INLET FILTERS.
27. SILT FENCES(S) AND FIBER ROLLS SHALL BE INSTALLED PRIOR TO SEPTEMBER 15 AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING RAIN EVENTS, TO ENSURE THEIR PROPER FUNCTION.
28. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER, MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
29. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUCED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
30. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
31. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
32. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMITS AS NECESSARY.
33. AVOID CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
34. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
35. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE. CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
36. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
37. PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS IS REQUIRED ON WEEKENDS AND DURING RAIN EVENTS (JUST LOCATIONS).
38. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRADING, STORAGE ETC. SHALL NOT BE ENLARGED OR "TORN DOWN".
39. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON".
40. DUST CONTROL IS REQUIRED YEAR-ROUND.
41. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
42. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOOPPILES WHERE THE STOOPPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOOPPILE.

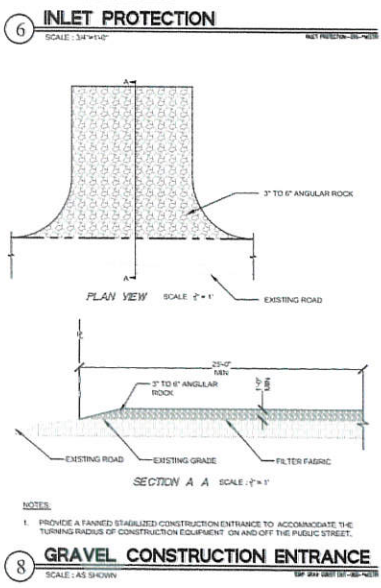
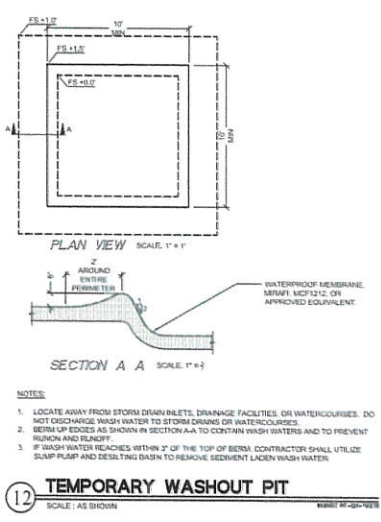
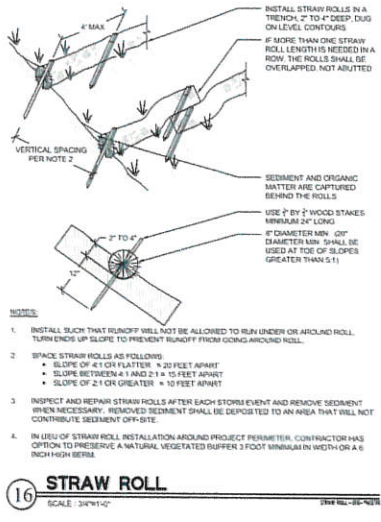
DATE:	03/13/2019
DESIGNED BY:	AS SHOWN
CHECKED BY:	TRL
DATE:	03/13/2019
DESIGNED BY:	AS SHOWN
CHECKED BY:	TRL

PROJECT: PRELIMINARY ENGINEERING CONSULTING, INC. 1400 217 1418 1419 1420 1421 1422 1423 1424 1425 1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1439 1440 1441 1442 1443 1444 1445 1446 1447 1448 1449 1450 1451 1452 1453 1454 1455 1456 1457 1458 1459 1460 1461 1462 1463 1464 1465 1466 1467 1468 1469 1470 1471 1472 1473 1474 1475 1476 1477 1478 1479 1480 1481 1482 1483 1484 1485 1486 1487 1488 1489 1490 1491 1492 1493 1494 1495 1496 1497 1498 1499 1500



EROSION AND SEDIMENT CONTROL PLAN
NEW RESIDENCE
MAGELLAN AVENUE
HALF MOON BAY, CA (SMCO) 94019

DATE: 03/13/2019
SCALE: AS SHOWN
DESIGNED BY: TRL
CHECKED BY: TRL
DRAWING NUMBER: C-3
PROJECT JOB NO.: PEC 19-003



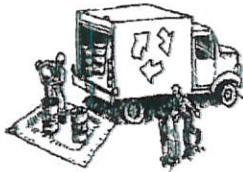
SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



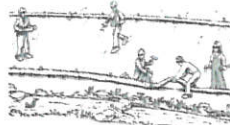
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off-site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., mgs, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or mgs).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber mats) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel rolls, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board.
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry, and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!)
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



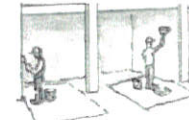
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/tracks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

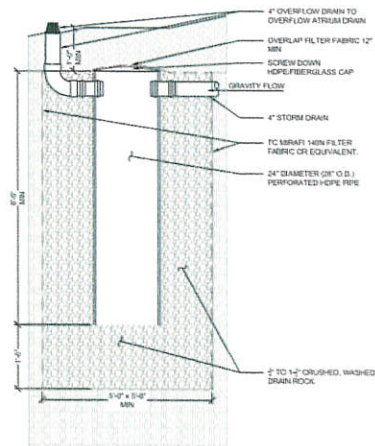
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyl tin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering

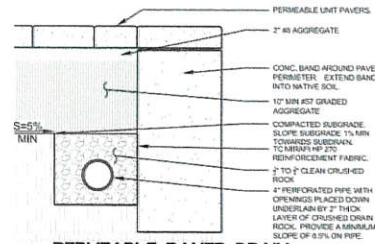


- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or dis-cision through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

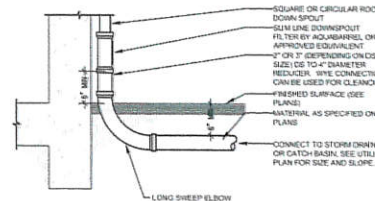
Storm drain polluters may be liable for fines of up to \$10,000 per day!



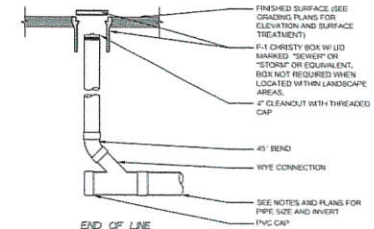
10 DRYWELL WITH STANDPIPE
SCALE: 1/4"=1'-0"
SHEET 03-10



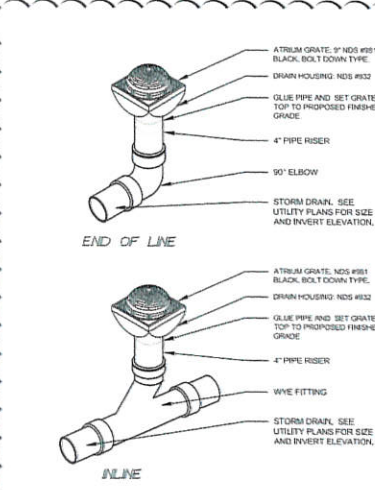
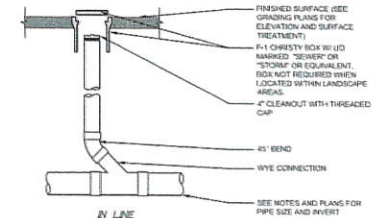
5 PERMEABLE PAVER DRAIN
SCALE: NO SCALE
SHEET 03-05A (03-10)



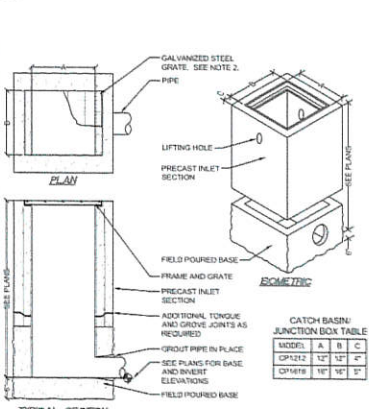
6 DOWNSPOUT CONNECTION
SCALE: 3/4"=1'-0"
SHEET 03-06



2 CLEANOUT NON-TRAFFIC RATED
SCALE: 3/4"=1'-0"
SHEET 03-02



8 SQUARE ATRIUM DRAIN
SCALE: 1/4"=1'-0"
SHEET 03-08A (03-10)



4 CATCH BASIN
SCALE: NO SCALE
SHEET 03-04

NOTES:
1. INLET AND GRATE SHALL BE CENTRAL PRECAST DROP INLET, OR EQUIVALENT.
2. FRAMES AND GRATES SHALL BE HEAVY DUTY, DESIGNED FOR 100' HIGHWAY LOADING. GRATE TO BE BICYCLE PROOF.

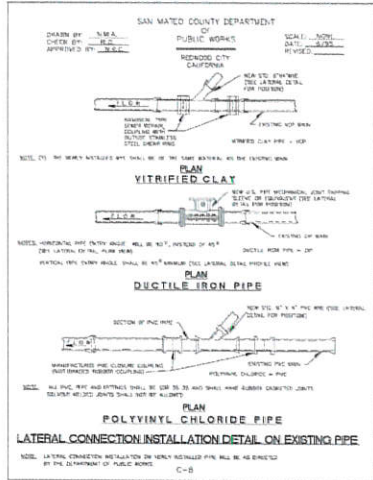
PRECISION ENGINEERING
COUNTESS BLVD. SUITE 100
SAN JOSE, CA 95128
TEL: 408.255.8888
WWW.PRECISIONENGINEERING.COM

DATE:	REVISIONS:
05/15/2019	05/15/2019
05/20/2019	05/20/2019
05/20/2019	05/20/2019

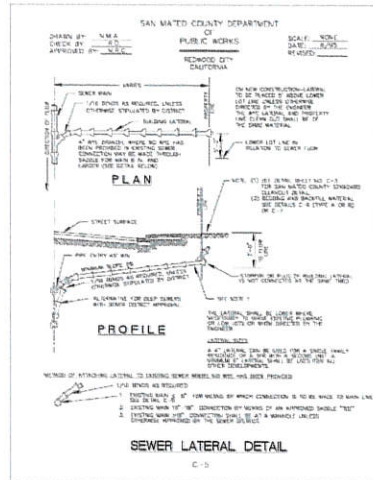


DETAIL SHEET
NEW RESIDENCE
MAGELLAN AVENUE
HALF MOON BAY, CA (SMCO) 94019

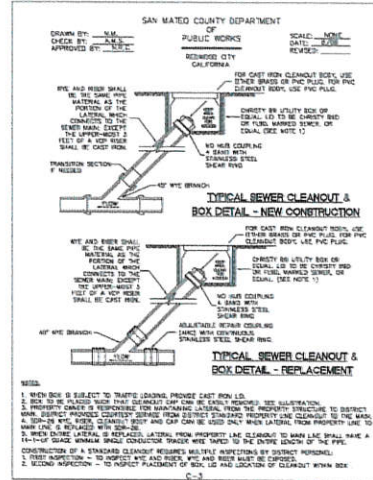
Date: 03/13/2019
As Shown
Design: TRL
Check: TRL
Drawing Location: C-4
File Path: P:\18-003



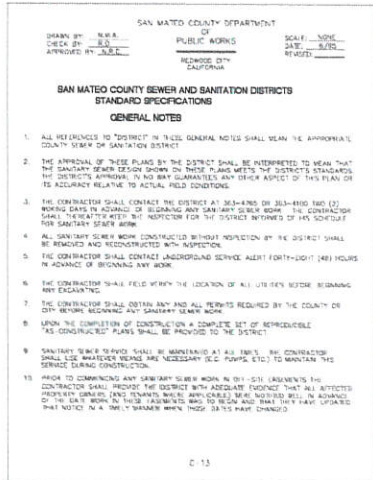
10 LATERAL CONNECTION INSTALLATION



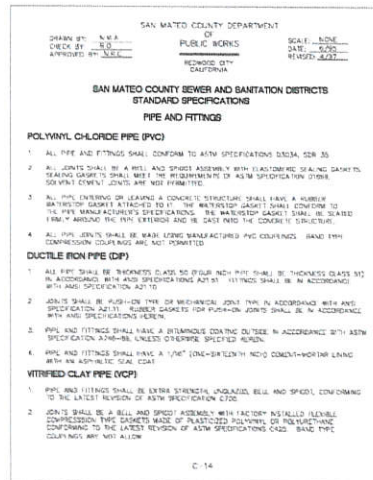
6 COUNTY LATERAL



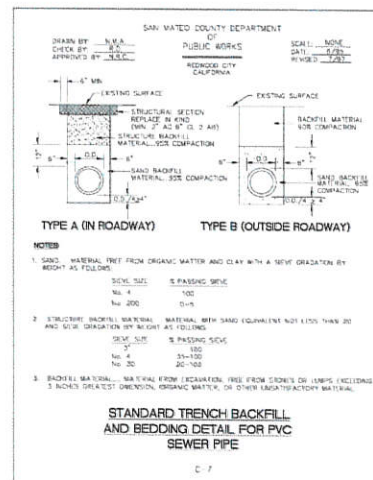
2 COUNTY CLEANOUT



12 GENERAL NOTES



8 PIPE AND FITTINGS



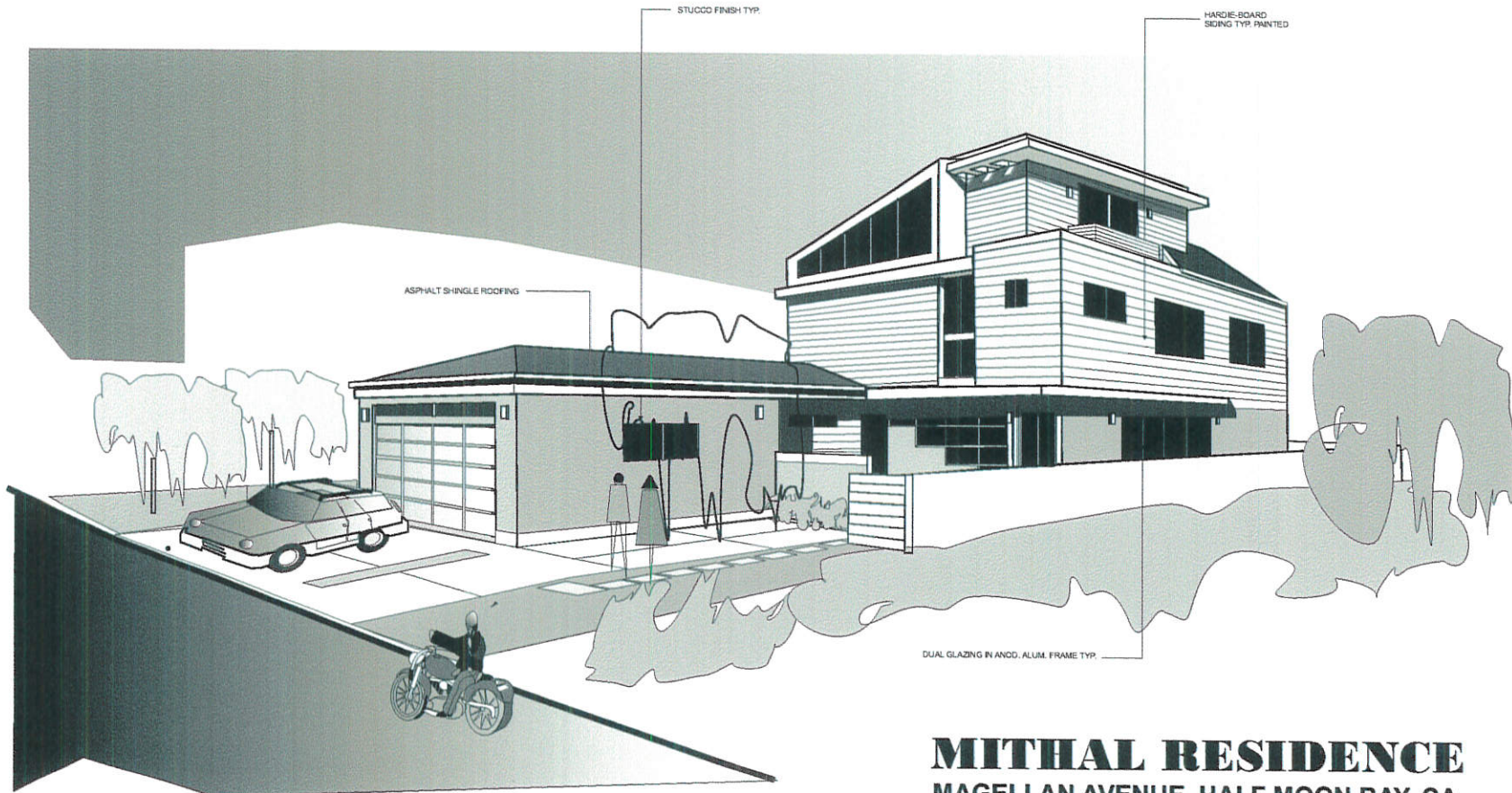
4 STANDARD TRENCH DETAIL

PRECISION ENGINEERING CONSULTANTS INC. 1000 10th Street, Suite 1000, San Francisco, CA 94103. Tel: 415.774.8888 Fax: 415.774.8888 Email: info@precisionec.com

DATE:	03/13/2019
REVISIONS:	01: SITE COMMENTS
	02: SITE REVISIONS
	03: SITE REVISIONS



DETAIL SHEET
NEW RESIDENCE
MAGELLAN AVENUE
HALF MOON BAY, CA (SMCO) 94019
Date: 03/13/2019
Drawn: AS SHOWN
Design: TRL
Check: TRL
Drawing Number: C-4.1
PEC Job No.: PEC 19-003



MITHAL RESIDENCE
 MAGELLAN AVENUE, HALF MOON BAY, CA

REVISIONS: 11-05-18 11-30-18 05-08-19
ARCHITECT: ORISRUJ ANSRUJ AND ASSOCIATES, INC. <small>1000 S. RAYBURN DRIVE, SUITE 100, SAN ANTONIO, TEXAS 78205</small>
REVIEWED BY: APPROVED BY: JOB NO.
NEW MITHAL RESIDENCE MAGELLAN AVENUE HALF MOON BAY, CA
SCHEMATIC DRAWINGS
SHEET Number AR-4 4 OF 5 DATE: 11/12/18

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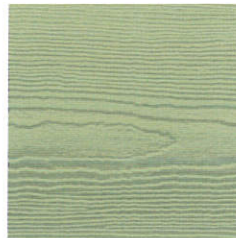
*TRIM/GUTTERS/
 FACIA*



ARCTIC WHITE



KHAKI BROWN



HEATHERED MOSS

SIDING



PEARL GRAY



LIGHT MIST



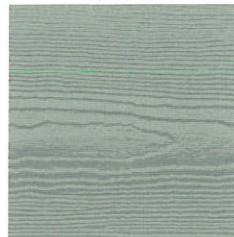
SAIL CLOTH



COBBLE STONE



MOUNTAIN SAGE



GRAY SLATE



BOOTHBAY BLUE



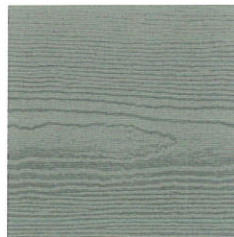
NAVAJO BEIGE



MONTEREY TAUPE



CHESTNUT BROWN



AGED PEWTER
STUCCO



EVENING BLUE



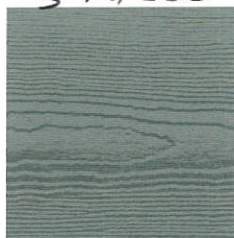
SANDSTONE BEIGE



WOODSTOCK BROWN



TRADITIONAL RED



NIGHT GRAY



IRON GRAY



AUTUMN TAN



TIMBER BARK



COUNTRYLANE RED



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- Integrated LED produces 360 Lumens and 60-Watt equivalence

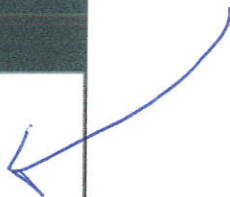
"**Model#** IZC1691L-2"

"**Internet#** 206811497"

"**Store SKU#** 1001804454"

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