

July 9, 2019

Jordan McWherter
759 Rockaway Beach Avenue
Pacifica, CA 94044

Dear Mr. McWherter:

SUBJECT: Coastside Design Review Continuance
1237 Grant Road, Montara
APN 036-225-130; County File No. PLN 2018-00322

At its meeting of June 13, 2019, the San Mateo County Coastside Design Review Committee (CDRC) considered your application of a Design Review recommendation to allow construction of a new two-story, 4,000 sq. ft. residence, plus a 437 sq. ft. garage, located on a legal 4.77-acre parcel (legality confirmed via subdivision, SMJ 80-6) associated with a staff-level Coastal Development Permit, Resource Management Permit, and Grading Permit. The project involves 920 cubic yards of cut and 75 cubic yards of fill and the removal of nine significant trees.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the Local Coastal Program and "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

1. From the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" Manual
 - a. Section 6565.20(C). 1. Relationship to Exiting Topography. Standards (d) and (e):
To address articulation:
 1. The roofline at both the front and rear perspectives should be differentiated at the entry/study/stair section.
 2. The entry should be recessed.
 3. The lower level workshop should be pulled back and cantilevered.
2. Recommendations Discussed Include:
 - a. Call out materials on the elevations on Sheets A3.1 and A3.2.



- b. Roofing shall be standing seam metal in a Vermont Slate color to match the fascia color (Benjamin Moore BM2127-30 Gravel Gray). The finish shall be as flat as possible to minimize reflection.
- c. Exterior Lighting shall be a Dark Sky-compliant version of the sample provided (Sunset Lighting F6907.31).
- d. The deck posts and cap shall be powder-coated in a galvanized steel gray color.
- e. The garage door shall be lux black aluminum and white laminate glass.
- f. The deck materials shall be in a galvanized steel mesh pattern.
- g. Eliminate the two center exterior light fixtures between the two sliding doors, such that there is only one on the front elevation (Sheet A3.1) and one on the rear elevation (Sheet A3.2).
- h. Consider expanding the galvanized steel rail finish to tie into to other finishes, such as with the finish of the exterior lighting fixture.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (1) request for a decision from the CDRC on the plans presented or (2) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Ruemel Panglao, Project Planner, at 650/363-4825, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre
Design Review Officer

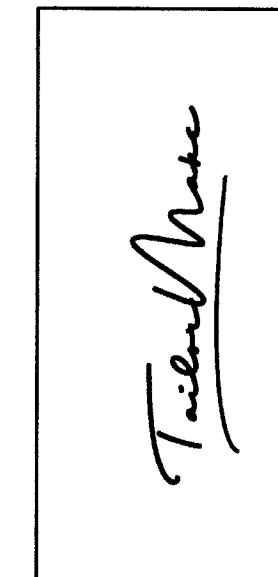
DPA:RP - RSPDD0341_WPN.DOCX

cc: Bruce Chan, Member Landscape Architect
Kayleen Kostuik, Member Architect
Beverly Garrity, Montara Community Representative
Kathryn Carter, Interested Member of the Public

NEW SINGLE FAMILY HOME 1237 GRANT ROAD, MONTARA, CA

PLN2018-00322

RECEIVED
JUN 21 2019
San Mateo County
Planning Division



ABBREVIATIONS	
@	AT NUMBER
#	ANCHOR BOLT
AB	AIR CONDITIONER
A/C	APPROXIMATE
AFF	APPROXIMATE
AS	BEAM
AS	BOTTOM
BLDG	BLOCK
BLK	BLOCKING
BLKG	BEAM
BM	BOTTOM
BOT	CABINET
CAB	CATCH BASIN
CB	CENTERLINE
CL	CEILING
CLG	CLOSET
CLST	CONCRETE MASONRY UNIT
CMU	CLEAN OUT
CO	COLUMN
COL	CONCRETE
CONC	CONTINUOUS
CONT	DRYER
D	DOUBLE
DBL	DEPARTMENT
DEPT	DEGREES
DEG	DIAMETER
DIA	DIMENSION
DIM	DOWN
DN	DOOR
DR	DOWNSPOUT
DS	DISHWASHER
DW	DRAWING
DWG	(E) EXISTING
(E)	EACH
EA	ELECTRICAL
ELEC	ELEVATION
ELEV	ENGINEER
ENG	EQUIPMENT
EQPT	EXTERIOR
EXT	FORCED AIR UNIT
FAU	FLOOR AREA RATIO
FAR	FLOOR DRAIN
FD	FINISHED FLOOR
FF	FINISH
FIN	FLOOR
FL	FLUORESCENT
FLUOR	FOUNDATION
FOUND	FIREPLACE
FP	FOOT OR FEET
FT	FOOTING
FTG	FURNACE
FURN	GAS
G	GAS
GA	GALVANIZED
GALV	GENERAL CONTRACTOR
GC	GARBAGE DISPOSAL
GD	GLASS
GL	GRADE
GR	GYP SUM BOARD
GYP BD	HANDICAP
HC	HEADER
HDR	HARDWOOD
HDWD	HEIGHT
HT	HORIZONTAL
HORIZ	HOUR
HR	INSULATION
INSUL	INTERIOR
INT	JOINT OR JOINT TRENCH
JT	LINEN CLOSET
LINEN	LAMINATE
LAM	LAVATORY
LAV	LIGHT
LT	MAXIMUM
MAX	MECHANICAL
MECH	MANUFACTURER
MFR	MANHOLE
MH	MINIMUM
MIN	MISCELLANEOUS
MISC	MOULDING
MLDG	MOUNTED
MTD	METAL
MTL	

PROJECT SCOPE
NEW TWO-STORY, SINGLE-FAMILY HOME WITH 2-CAR ATTACHED GARAGE.

PLANNING DATA
PROJECT COMMON ADDRESS: 1237 GRANT RD MONTARA, CA 94037
ASSESSOR'S PARCEL NUMBER: 036-225-130
ZONING: RM-CZ/DR/CD

BUILDING CODE DATA
TYPE OF OCCUPANCY: R3/U
CONSTRUCTION TYPE: VB
BEARING AND NON-BEARING WALLS (LESS THAN 5' FROM PROPERTY LINE): 1-HOUR
OPENINGS NOT PERMITTED LESS THAN 3' FROM PROPERTY LINE
NUMBER OF STORIES: 2
ALL WORK TO CONFORM TO 2016 CRC, CBC, CFC, CPC, CMC, CEC, 2016 CALIFORNIA ENERGY CODE, AND 2016 CGBC

SYMBOLS	
	SECTION CUT, DETAIL NUMBER SHEET ON WHICH IT OCCURS
	DETAIL NUMBER SHEET ON WHICH IT OCCURS
	REVISION CLOUD
	REVISION NUMBER
	GRIDLINE IDENTIFICATION
	DOWNSLOPE INDICATION
	SHOWER HEAD

PROJECT DIRECTORY			
SERVICE	COMPANY	CONTACT	TELEPHONE
APPLICANT / OWNER	-	JORDAN MCWHERTER	(650) 888-9588
CIVIL ENGINEER	ROUND HOUSE INDUSTRIES	MIKE O'CONNELL	(650) 303-0495
DRAFTING/DESIGN	-	JORDAN MCWHERTER	(650) 888-9588
SURVEYOR	SAVIOR P. MICALLEFF LAND SURVEYING	SAVIOR MICALLEFF	(805) 709-2423
SOILS ENGINEER	EARTH INVESTIGATIONS	JOEL BALDWIN	(650) 557-0262
TITLE 24	ENERGY DESIGN GROUP	MILES HANCOCK	-

PROJECT NOTES
* FIRE SPRINKLERS ARE REQUIRED UNDER A SEPARATE PERMIT. THE FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED PER NFPA 13D STANDARDS.

CALGREEN CONSTRUCTION REQUIREMENTS
* CONTRACTOR SHALL PROVIDE, AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL TO THE OWNER OR OCCUPANT, ADDRESSING ITEMS 1 THROUGH 10 IN CALGREEN SECTION 4.410.1.
* PER CALGREEN SECTION 4.408.2, CONTRACTOR SHALL PROVIDE AND SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN, DIVERTING A MINIMUM OF 65% OF WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE, TO THE BUILDING DEPARTMENT. THE FOLLOWING INFORMATION SHALL BE PROVIDED IN THE PLAN:
- IDENTIFY MATERIALS TO BE RECYCLED, REUSED, OR SALVAGED
- SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION
- IDENTIFY THE DIVERSION FACILITY(IES) TO BE USED
- IDENTIFY CONSTRUCTION METHODS TO BE USED TO LIMIT WASTE GENERATION
- SPECIFY THAT THE AMOUNT OF MATERIALS DIVERTED ARE TO BE CALCULATED BY WEIGHT OR VOLUME
* AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.
* PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AND CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
* COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION.
* ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
* PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
* AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
* CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
* MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
* PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD, AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
* INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.
* CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
* EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL.

PROJECT INFORMATION	
LOT SIZE	4.7 ACRES (204,732 SF)
LEVEL 1 LIVING AREA	1,842 SF (CONDITIONED)
LEVEL 2 LIVING AREA	1,653 SF (CONDITIONED)
(N) TOTAL LIVING AREA	3,495 SF (CONDITIONED)
(N) GARAGE	433 SF (UN-CONDITIONED)
(N) COVERED CONC DECK	356 SF (UN-CONDITIONED)
(N) WORK SHOP	383 SF (UN-CONDITIONED)
(N) UNCOVERED CONC DECK	? SF (UN-CONDITIONED)
(E) BARN (TO REMAIN)	754 SF (UN-CONDITIONED)
(N) TOTAL FLOOR AREA	3,495+433+356+383+754=5,421 SF
FLOOR AREA RATIO	5,421 SF / 204,732 SF = 2.65%
NEW ALTERED LANDSCAPE AREA	2,480 SF
NEW HARDSCAPED AREAS	650 SF
NEW TOTAL IMPERVIOUS SURFACES	3,271 SF
AREA OF NATURAL VEGETATION TO REMAIN	198,981 SF

DRAWING INDEX	
ARCHITECTURAL/CIVIL	
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A0.2	3D VIEWS
A0.3	3D CUTAWAY AND MATERIALS PERSPECTIVE
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2 of 6	ORIGINAL TOPOGRAPHIC SURVEY SHEET 2
3 of 6	ORIGINAL TOPOGRAPHIC SURVEY SHEET 3
4 of 6	ORIGINAL TOPOGRAPHIC SURVEY SHEET 4
5 of 6	ORIGINAL TOPOGRAPHIC SURVEY SHEET 5
6 of 6	ORIGINAL TOPOGRAPHIC SURVEY SHEET 6
C-1	GRADING AND DRAINAGE PLAN
C-2	EROSION AND SEDIMENT CONTROL PLAN
C-3	GRADING AND DRAINAGE, HOUSE SITE
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A1.2	PARTIAL SITE PLAN
A1.3	TURNAROUND PLAN
A1.4	TREE AND LANDSCAPE PLAN
A1.5	DRIVEWAY PROFILE
PERK	PERCOLATION TEST PLAN
S.S.P.	SEPTIC SYSTEM PLAN
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A2.2	LEVEL 2 FLOOR PLAN
A2.3	ROOF PLAN
A2.4	FLOOR AREA CALCULATIONS
A3.1	FRONT AND LEFT ELEVATIONS
A3.2	REAR AND RIGHT ELEVATIONS
A3.3	BUILDING SECTIONS

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
2	08/16/2018	PLANNING SUBMITTAL
3	11/14/2018	PLANNING RESUBMITTAL
4	03/07/2019	2ND PLANNING RESUBMITTAL
5	06/20/2019	3RD PLANNING RESUBMITTAL

PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

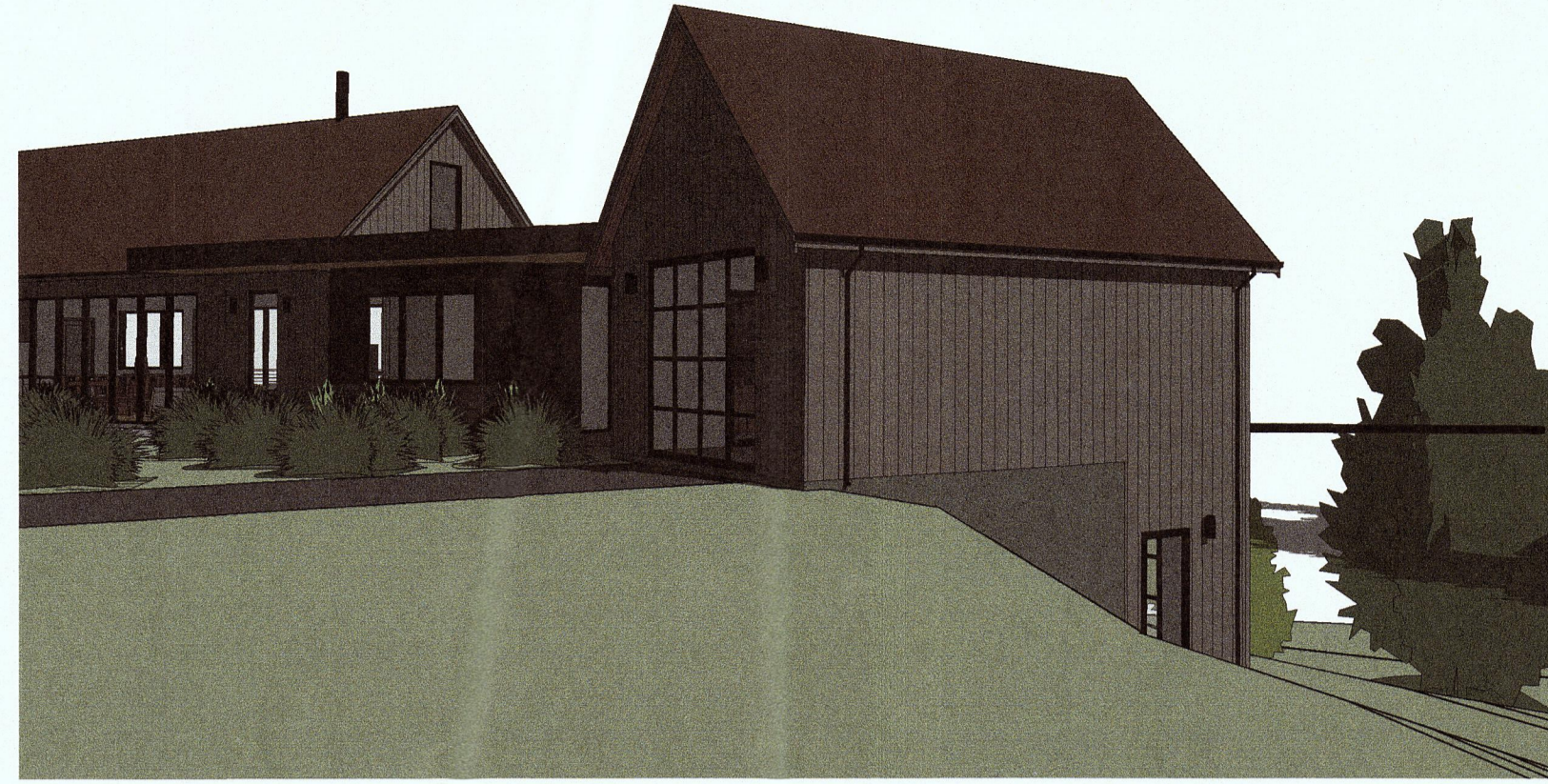
PROJECT SCOPE:
(N) TWO STORY, SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

SHEET TITLE
**TITLE SHEET/
PROJECT INFO**

SHEET
A0.0



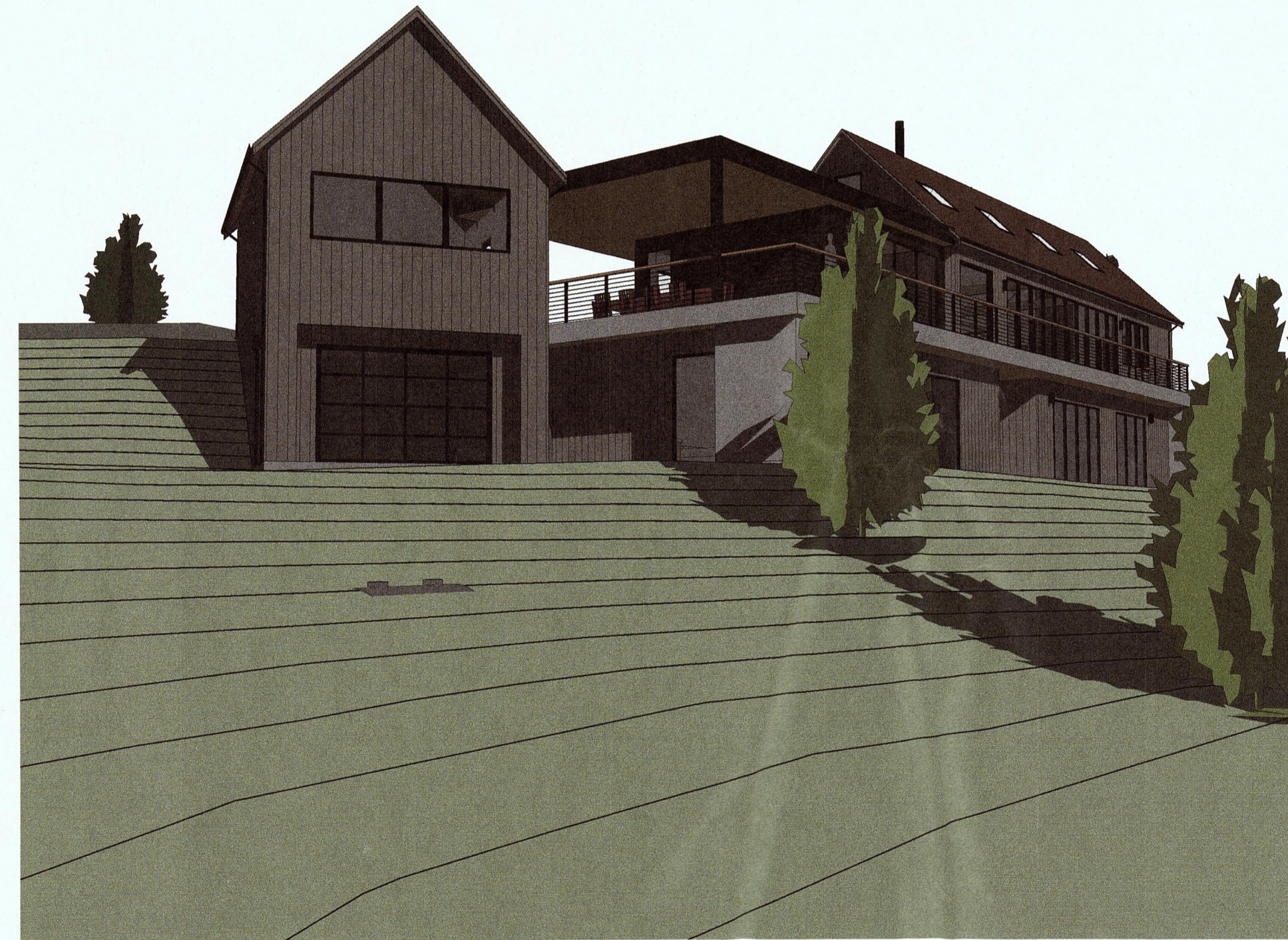
1 3D View 9



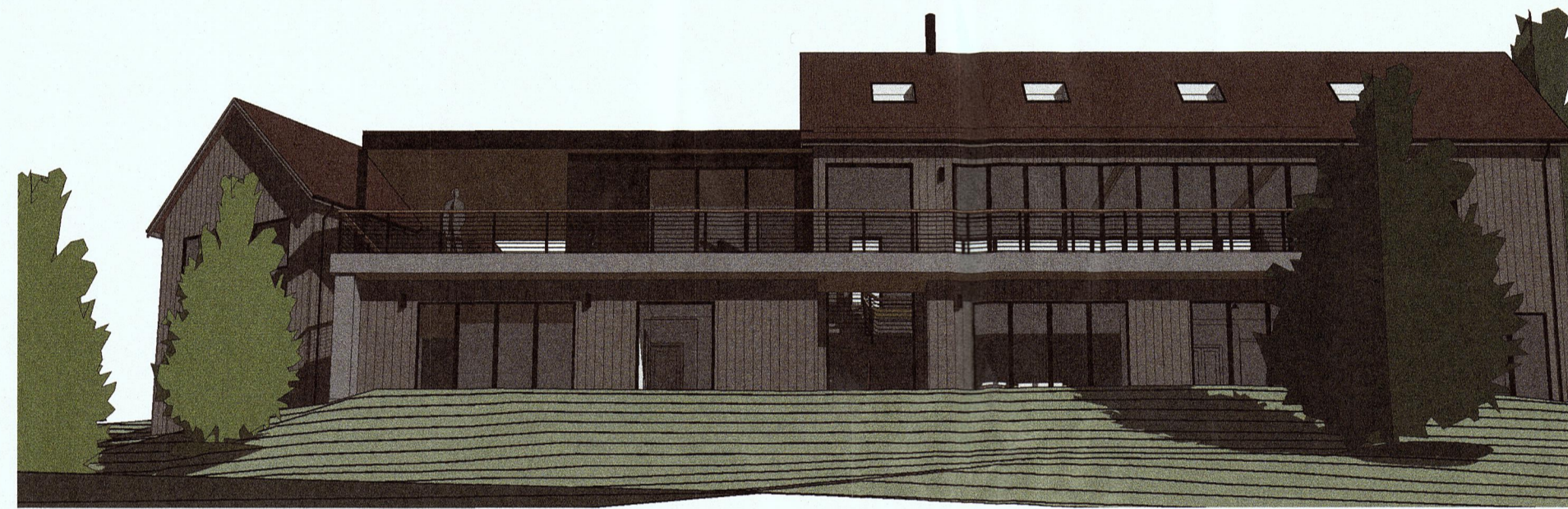
2 3D View 10



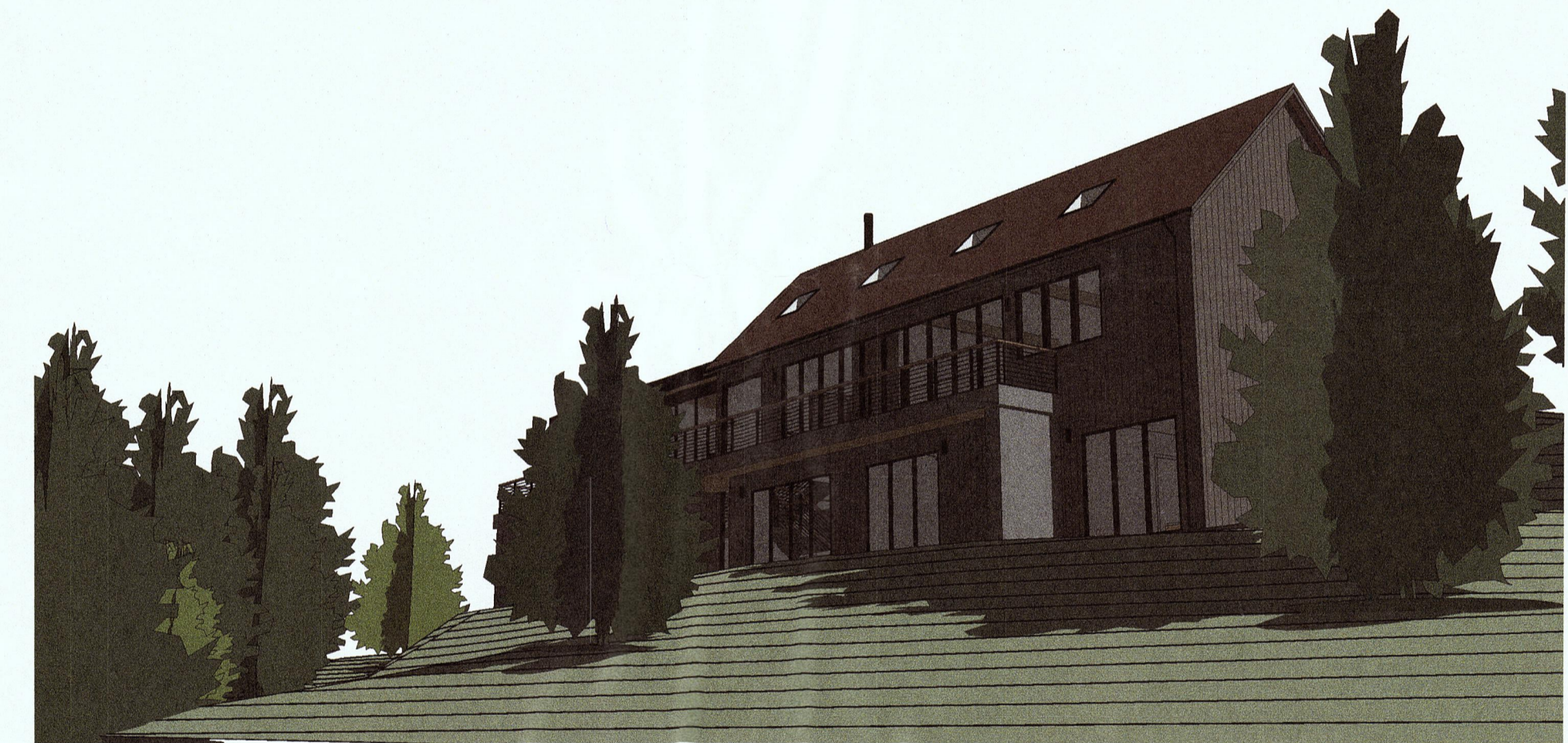
3 3D View 11



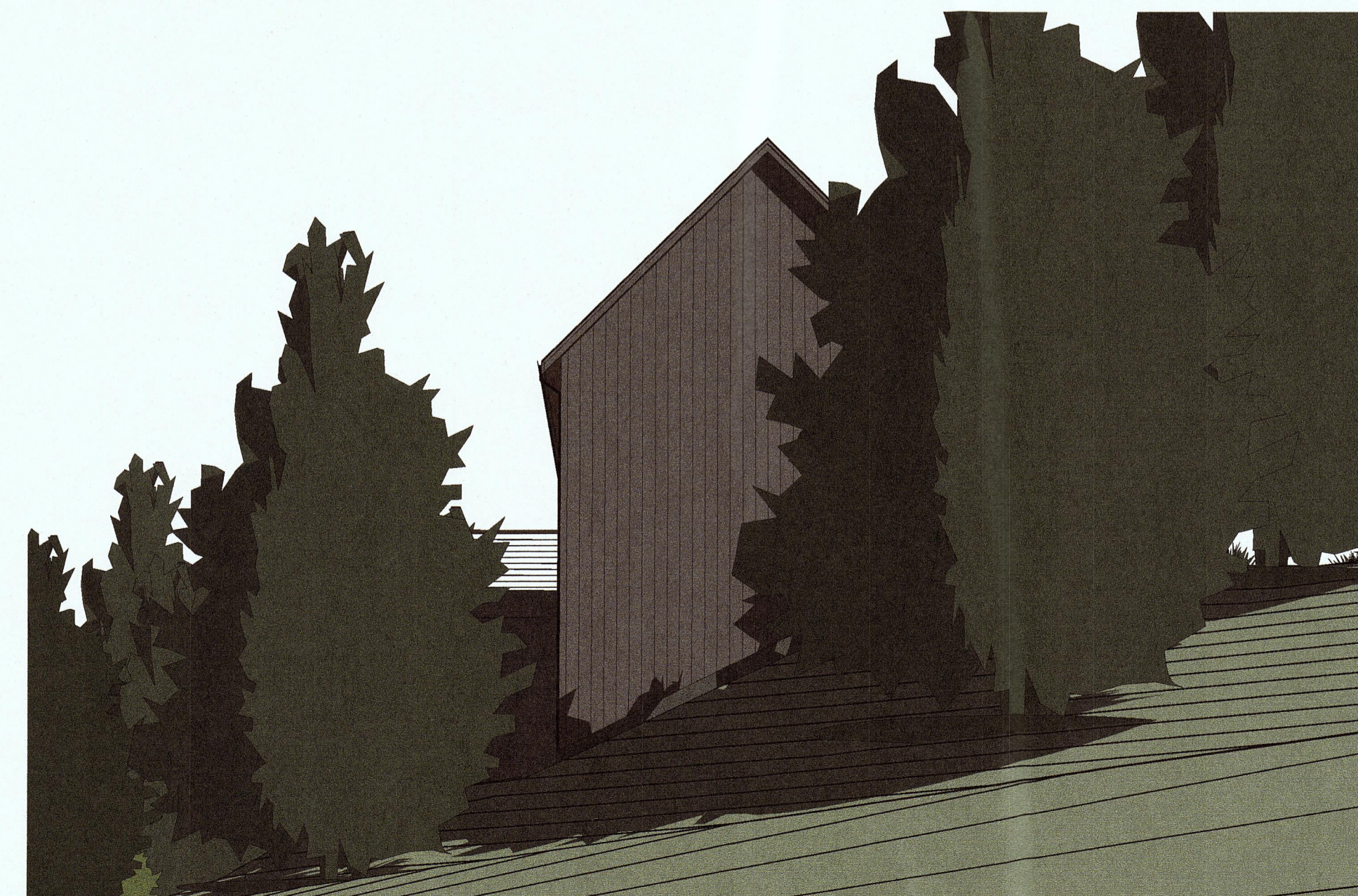
4 3D View 12



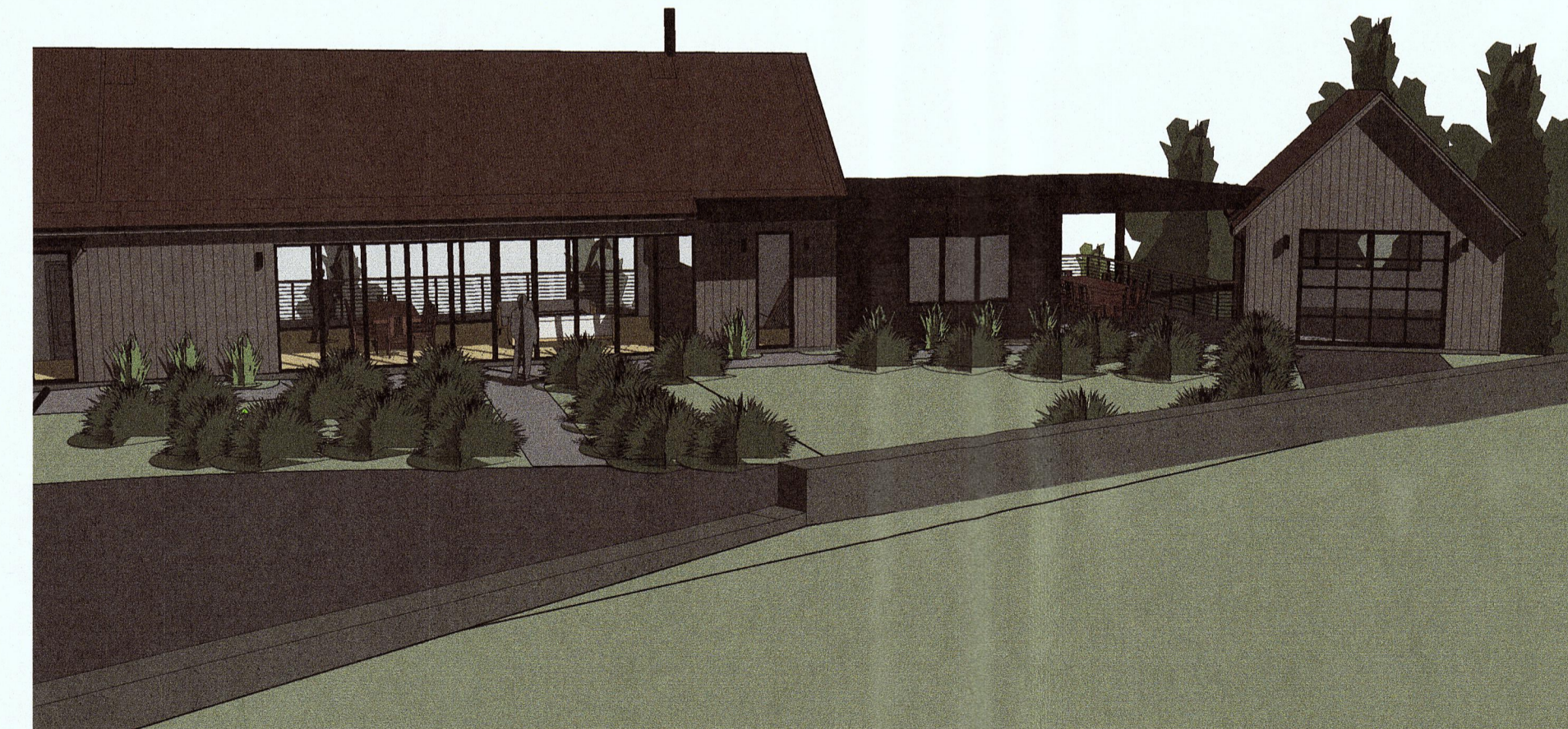
5 3D View 13



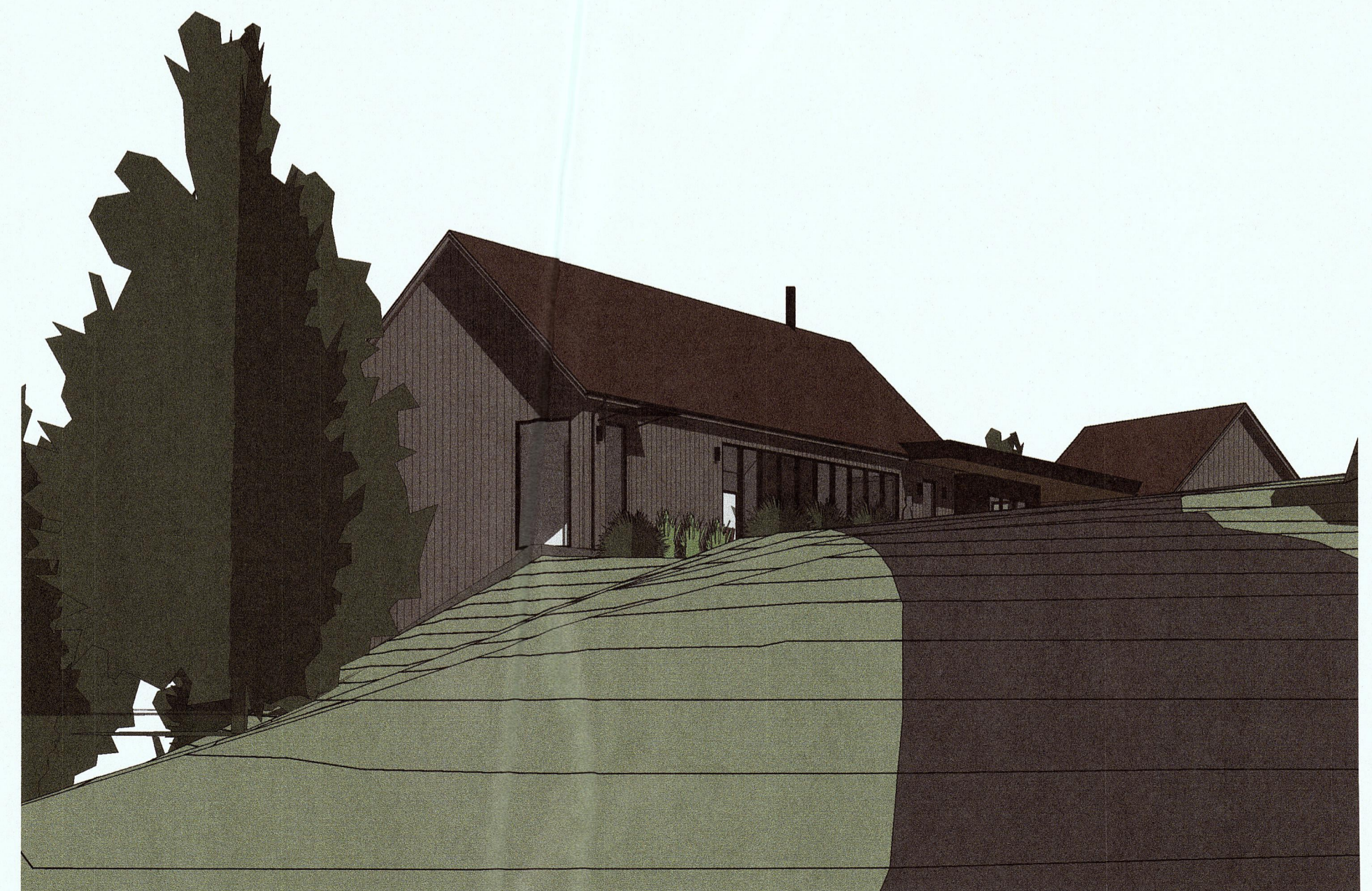
6 3D View 14



7 3D View 15



8 3D View 16



10 3D View 18

Taylor Stone

REV	DATE	DESCRIPTION
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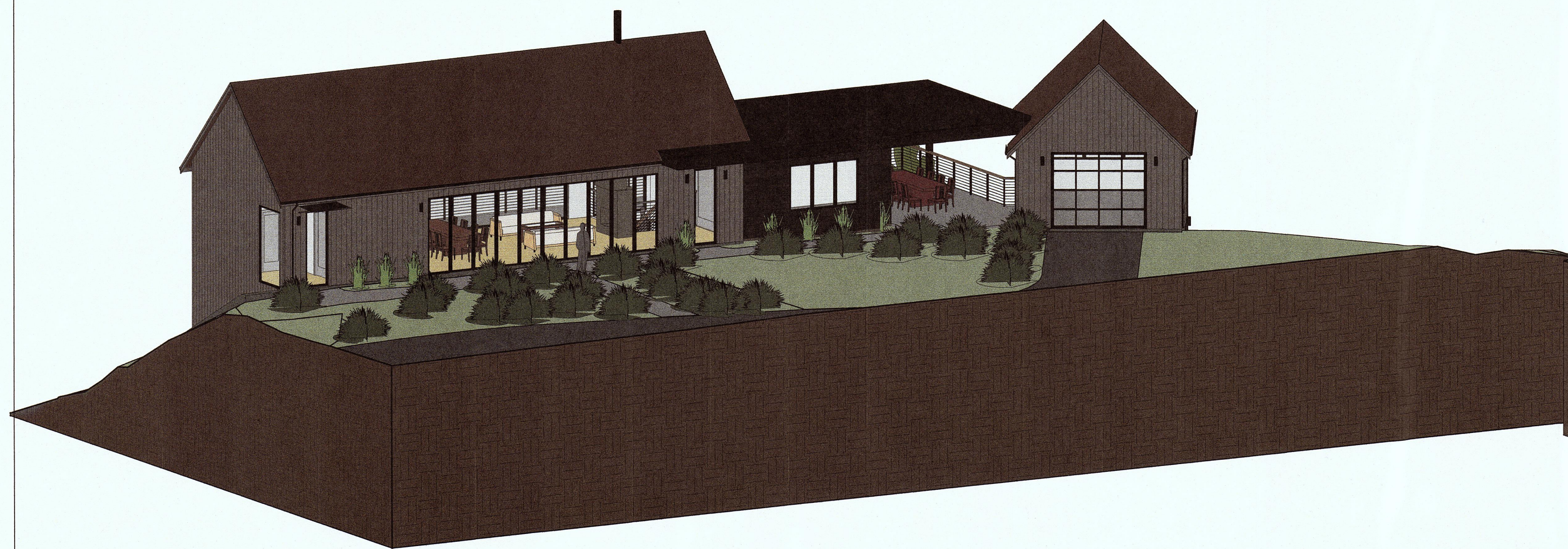
PROJECT SCOPE:
(N) TWO STORY, SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

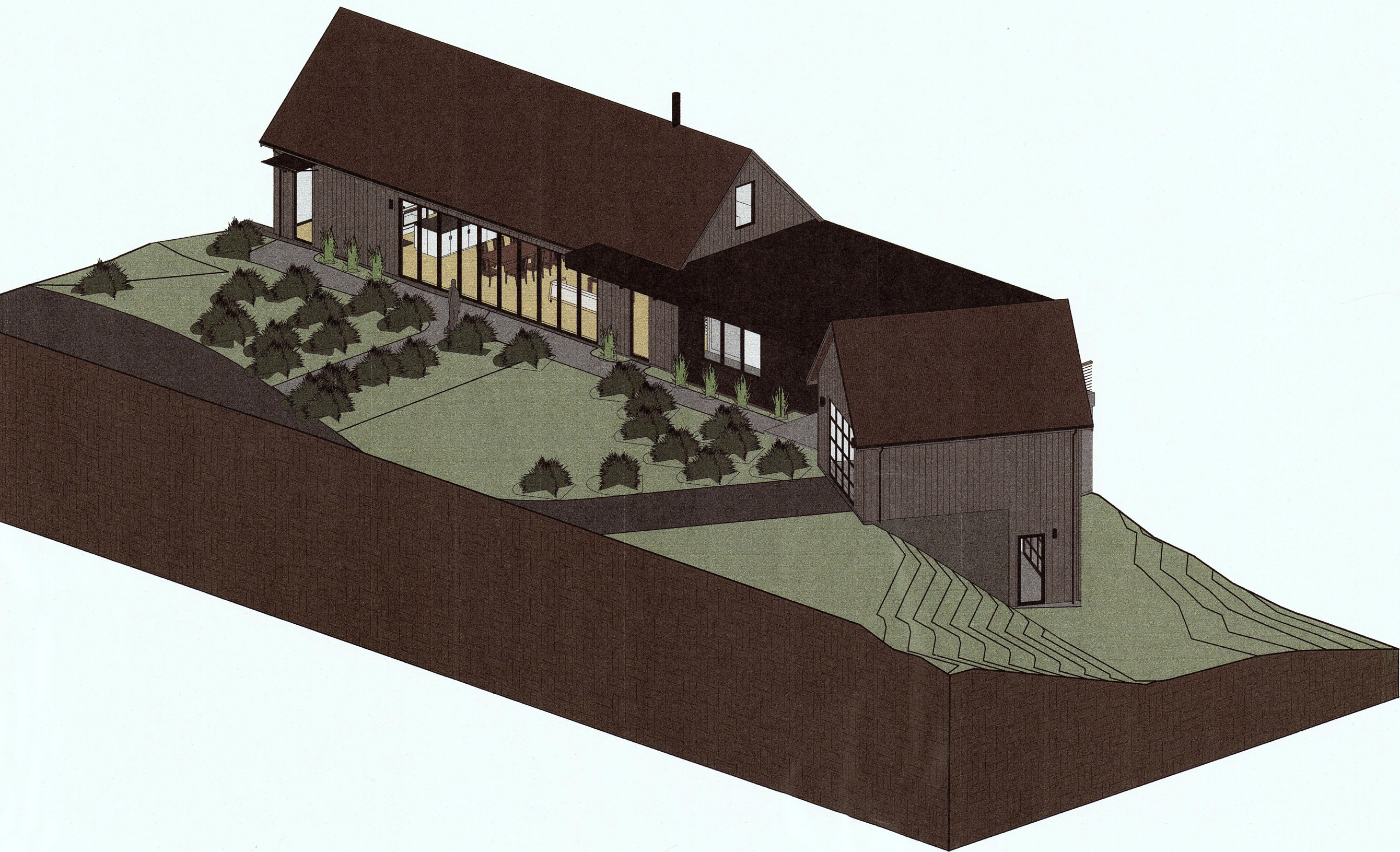
PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

SHEET TITLE
**EXTERIOR
CAMERA VIEWS**

SHEET
A0.1



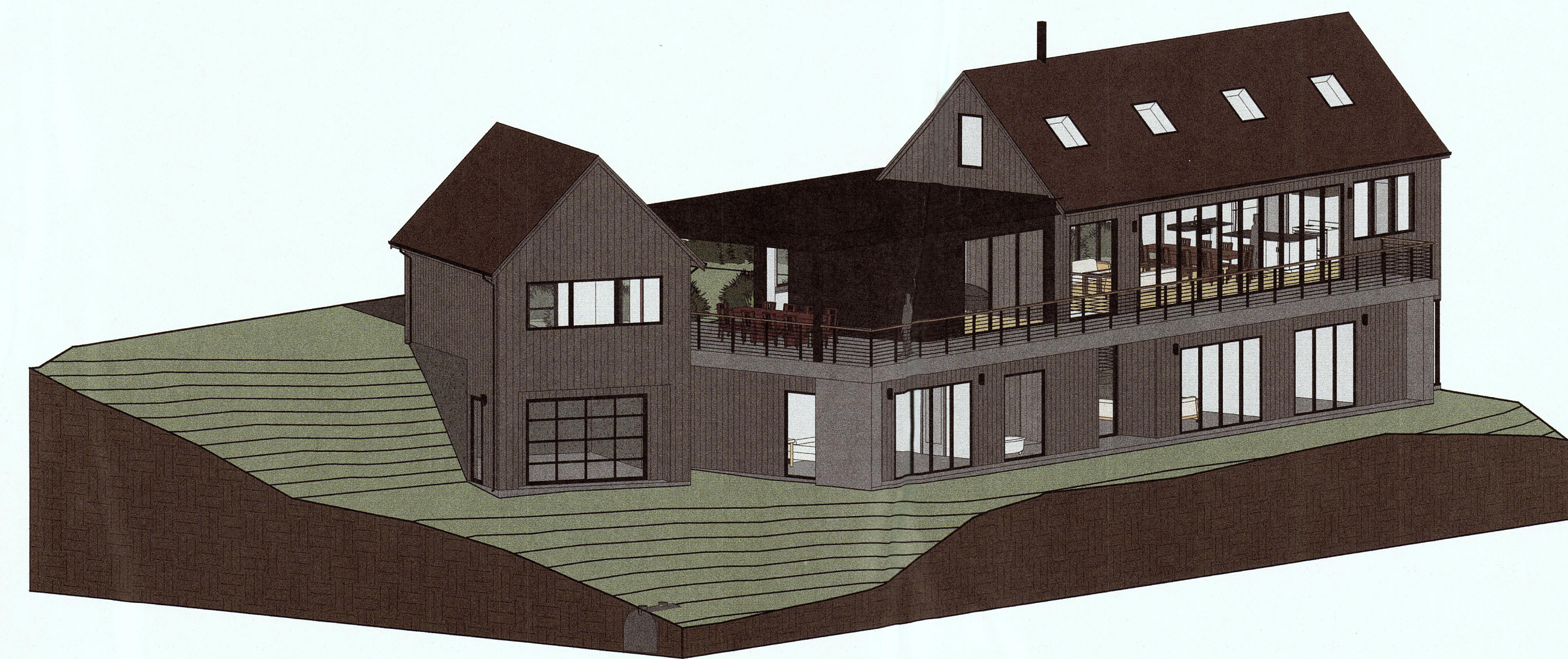
1 DESIGN VIEW 1



3 DESIGN VIEW 2



2 APPROACH VIEW 2



4 DESIGN VIEW 3

T. Smith

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
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PROJECT SCOPE:
 (N) TWO STORY, SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

PROJECT NAME:
**NEW SINGLE FAMILY HOME
 MCWHERTER RESIDENCE**

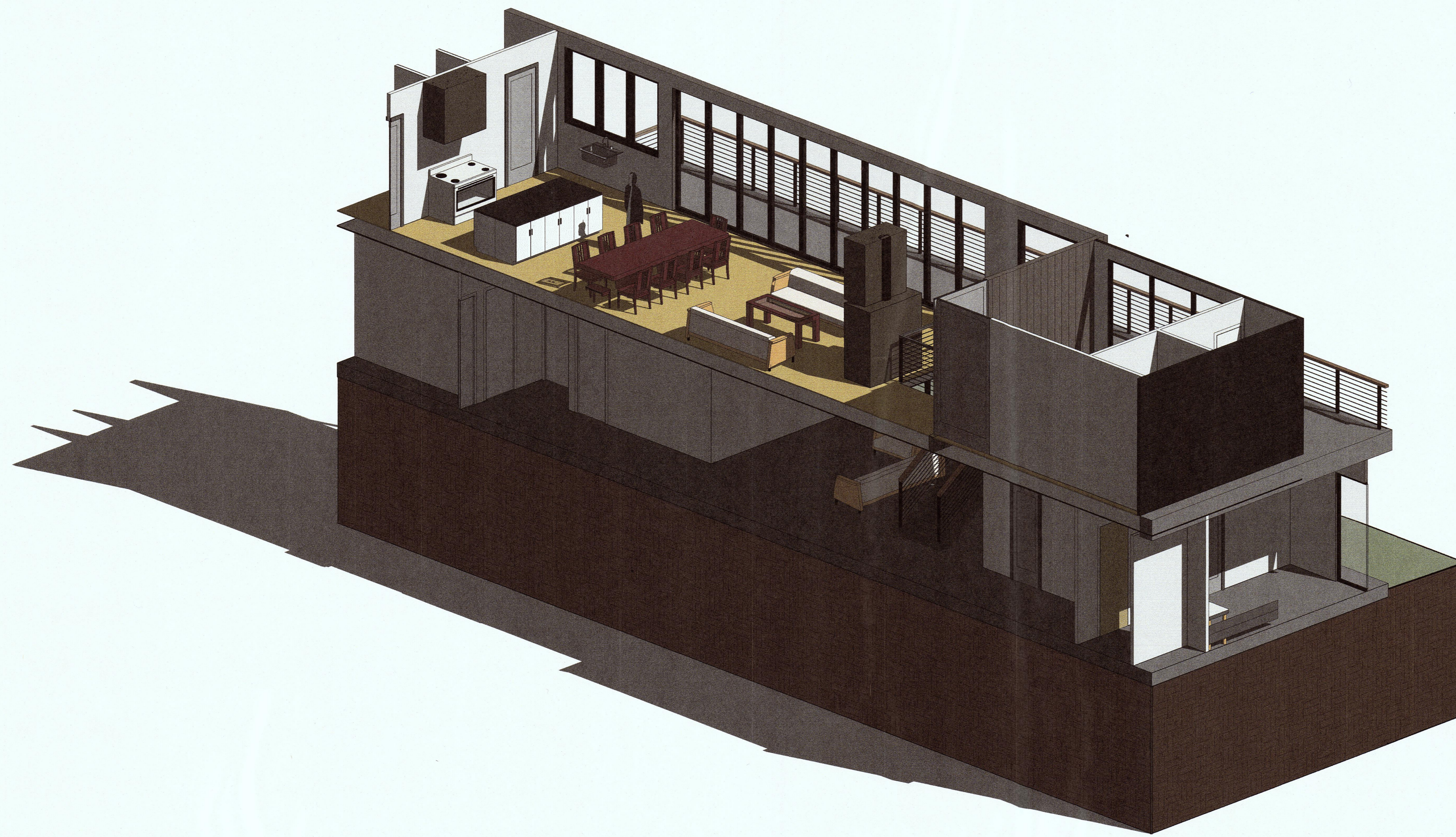
PROJECT ADDRESS:
**1237 GRANT ROAD
 MONTARA, CA 94037**

SHEET TITLE

3D VIEWS

SHEET

A0.2



1 3D BOX VIEW



2 MATERIALS PERSPECTIVE

- 1 7/8" CORRUGATED METAL ROOFING COLOR TRUTEN A606 (TYP.)
- 2 PLATINUM STAINED SPRUCE CLADDING (TYP.)
- 3 BLACK STAINED SPRUCE CLADDING (TYP.)
- 4 ROOF FASCIA SAME MATERIAL AS SIDING (TYP.)
- 5 MIN 42" HIGH RAILING WITH 3"x3" STEEL POSTS WITH WOVEN 3/4" MESH AND WOOD CAP
- 6 TRIMLESS BLACK ALUMINUM DOORS AND WINDOWS BY ANDERSON.
- 7 CONCRETE DECKING
- 8 CERTAINTED FLINTLASTIC SA BUILT UP, SELF-ADHERING, MODIFIED BITUMEN ROOFING SYSTEM, OR SIMILAR

Taylor Stone

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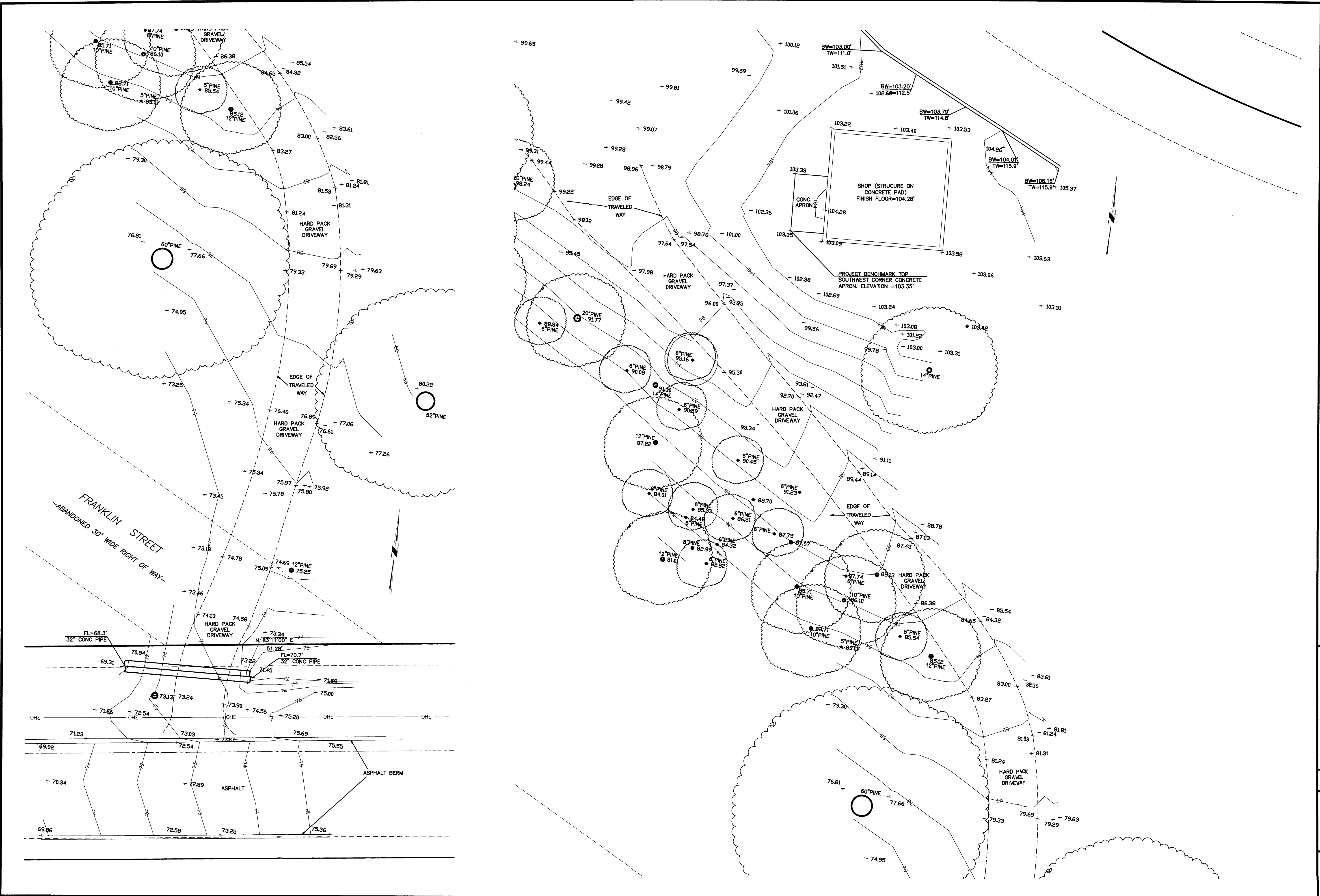
PROJECT NAME:
**NEW SINGLE FAMILY HOME
 MCWHERTER RESIDENCE**

PROJECT ADDRESS:
**1237 GRANT ROAD
 MONTARA, CA 94037**

PROJECT SCOPE:
 (N) TWO STORY, SINGLE FAMILY
 HOME WITH (N) ATTACHED
 GARAGE

SHEET TITLE
**3D CUTAWAY
 AND MATERIALS
 PERSPECTIVE**

SHEET
A0.3



TOPOGRAPHIC SURVEY OF 1237 GRANT RD, MONTARA
 (APN 036-225-130)

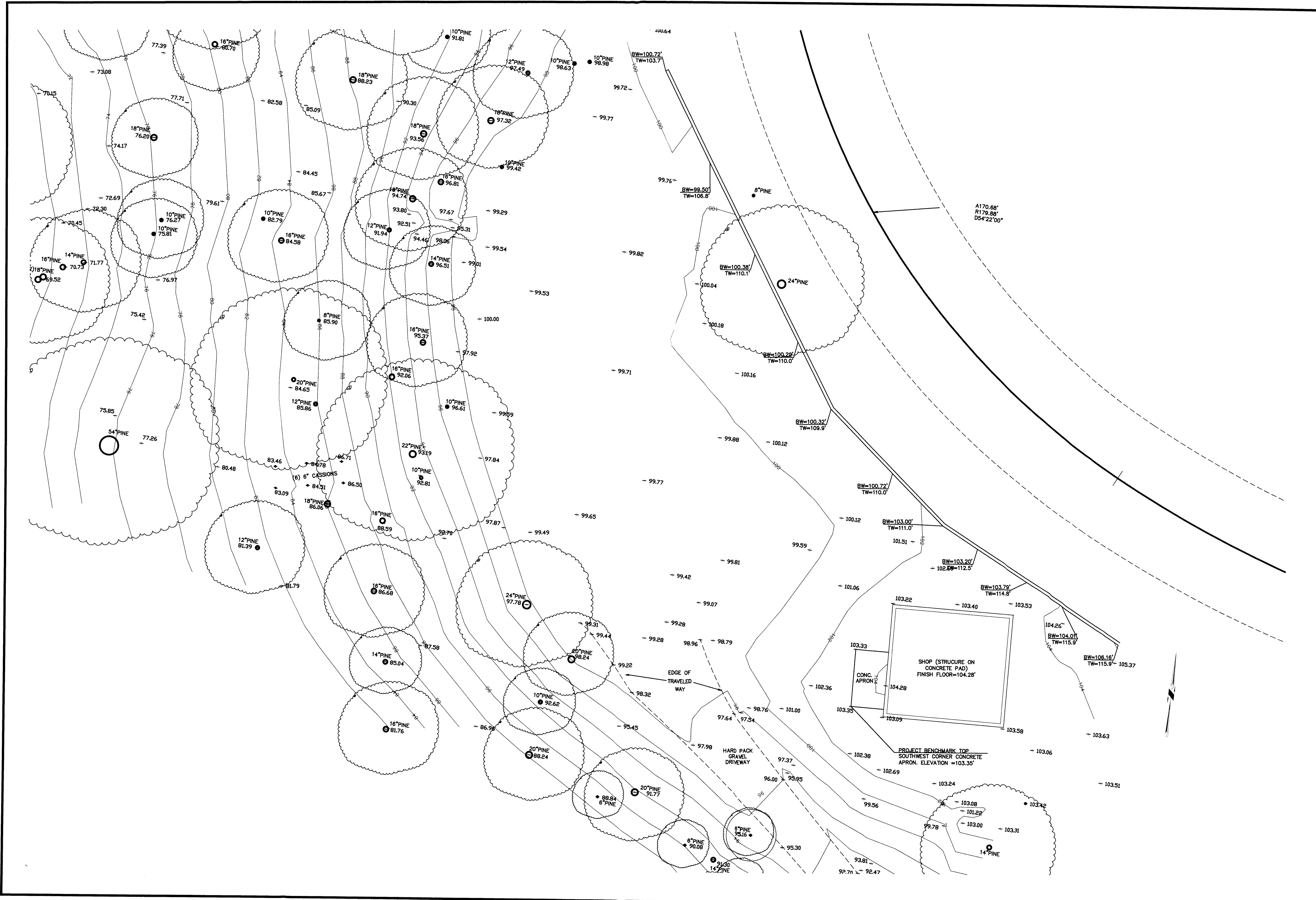
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

SAVOR P. MICALLEF LAND SURVEYING
 421 WILDWOOD DRIVE
 SOUTH SAN FRANCISCO, CA 94080
 805/708-2423

Date	No.	Revisions
06-26-18	1	

Scale: 1"=10'	Drawing: SPM	Approved: SPM	App No:
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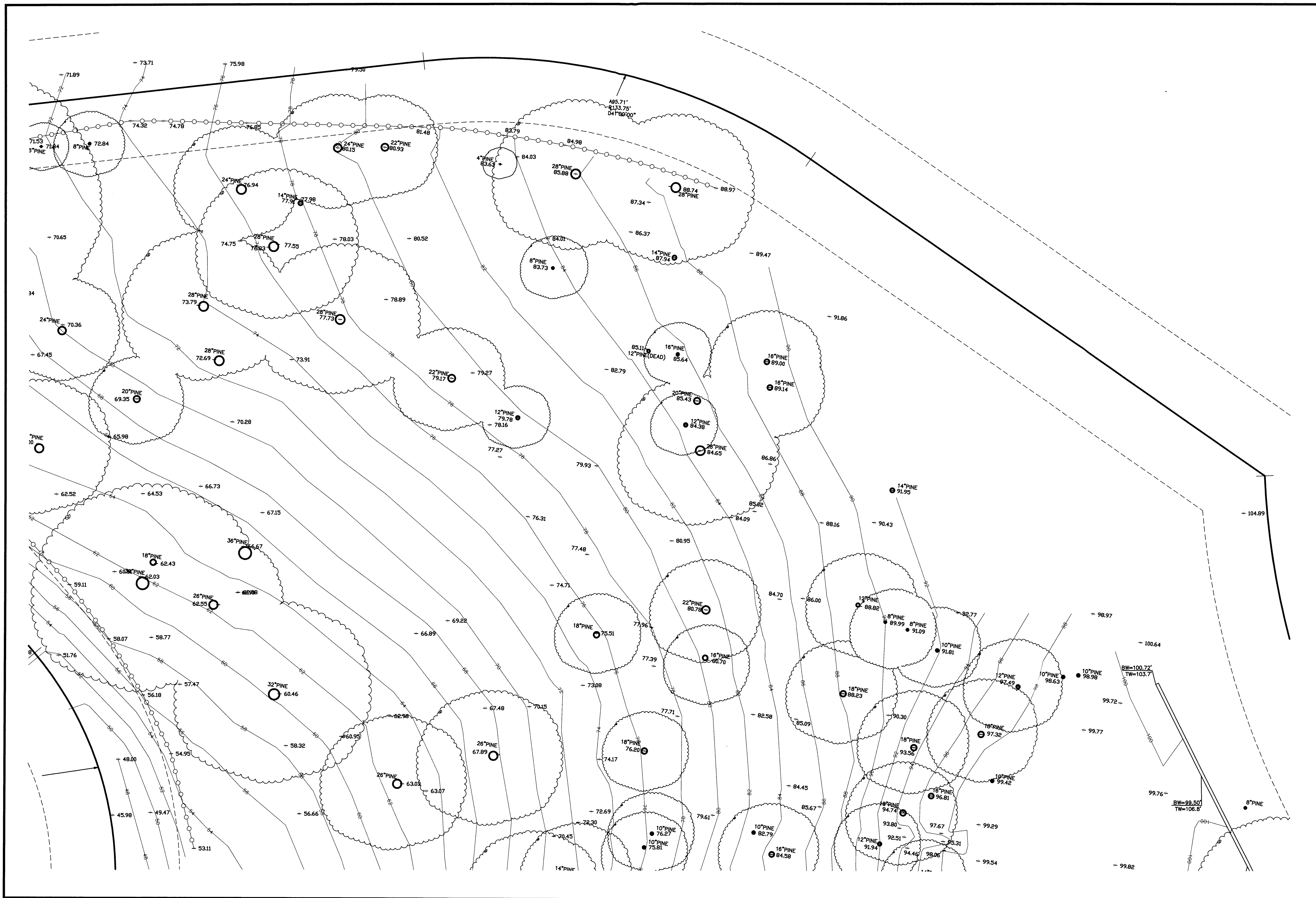
Drawing Number: 2 OF 6



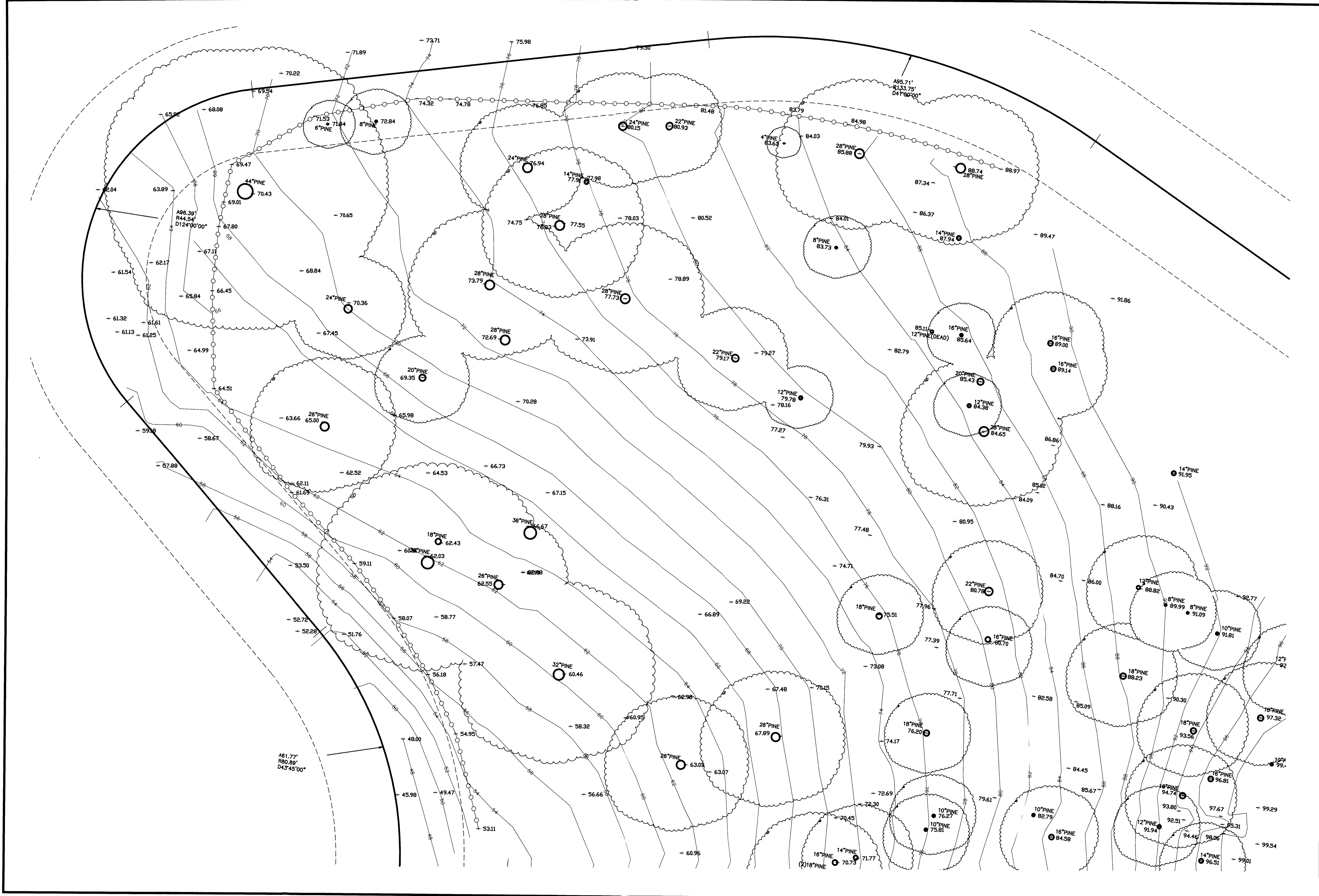
SAVOR P. MICALLEF LAND SURVEYING
 421 WILDWOOD DRIVE
 SOUTH SAN FRANCISCO, CA 94080
 805/709-2423

TOPOGRAPHIC SURVEY OF 1237 GRANT RD, MONTARA
 (APN 036-225-130)
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

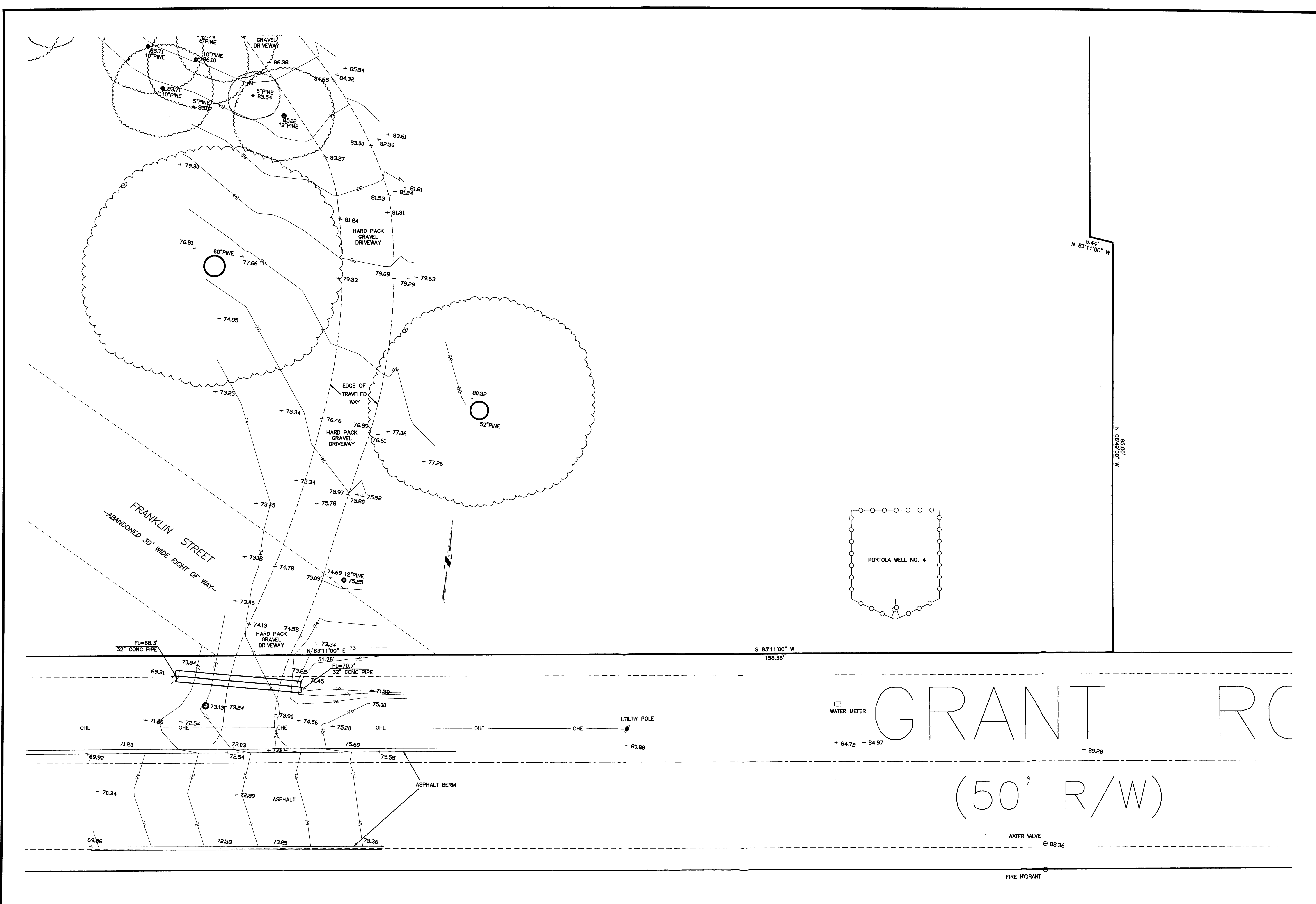
Revisions	
No.	
Date	08-28-18
Scale	1"=10'
Drawn	SPM
Approved	SPM
Job No.	



SAVOR P. MICALLEF LAND SURVEYING 421 WILWOOD DRIVE SOUTH SAN FRANCISCO, CA 94080 805/709-2423	
TOPOGRAPHIC SURVEY OF 1237 GRANT RD, MONTARA (APN 036-225-130)	
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA	
Date: 06-28-18 Scale: 1"=10' Design: SPN Drawn: SPN Approved: SPN Job No.	Revision No.
Drawing Number: 4 6	



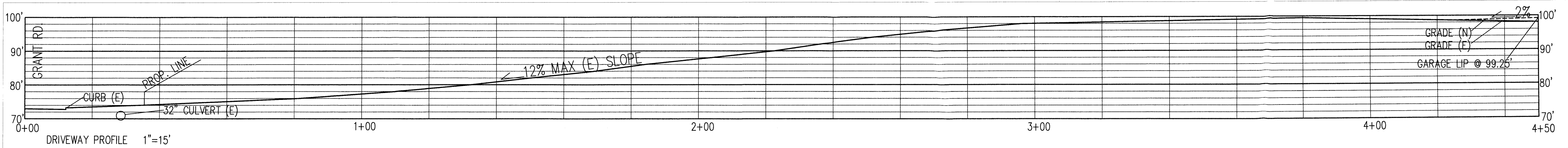
TOPOGRAPHIC SURVEY OF 1237 GRANT RD, MONTARA (APN 036-225-130)		UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SAVOR P. MICALLEF LAND SURVEYING 421 WILDWOOD DRIVE SOUTH SAN FRANCISCO, CA 94080 865/768-2425		
Date: 08-26-18	Scale: 1"=10'	Design: SPH
Drawn: SPH	Approved: SPH	Job No:
Drawing Number:		
5 OF 6		



SAVOR P. MICALLEF LAND SURVEYING 421 WILDWOOD DRIVE SAN FRANCISCO, CA 94080 805/7768-2425	
TOPOGRAPHIC SURVEY OF 1237 GRANT RD, MONTARA (APN 036-225-130)	
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA	
06-26-16 Scale: 1"=10' Design: SPH Drawn: SPH Approved: SPH Job No:	Revision: No.
Drawing Number:	
6 OF 6	



SEE C-3 FOR 1"=10' MAP OF HOUSE SITE



GENERAL NOTES

1. PLANS PREPARED AT REQUEST OF:
JORDAN McWHERTER, OWNER
2. ELEVATION DATUM: ASSUMED
3. CONTOUR INTERVAL IS 2 FEET.
4. SITE SURVEYED BY S. MICALLEF, AUGUST 2106.
5. THIS IS NOT A BOUNDARY SURVEY.

DRAINAGE NOTES

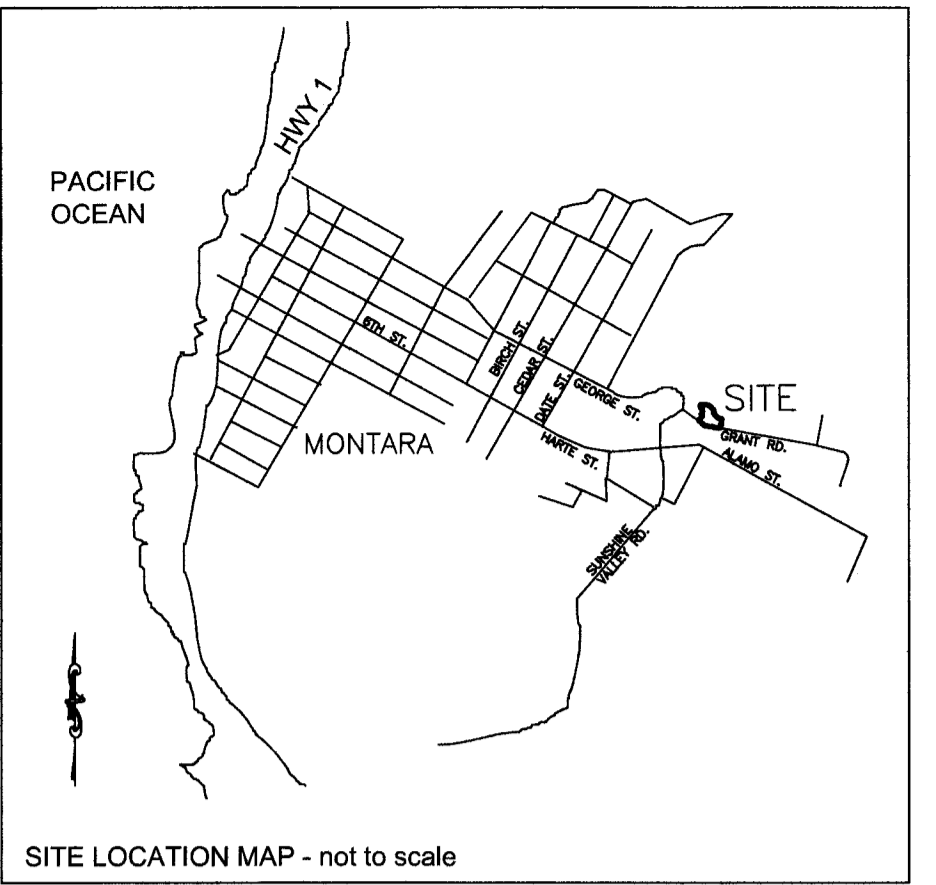
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL DOWNSPOUTS SHALL LEAD TO INFILTRATION TRENCH, AS SHOWN.
3. ALL PERFORATED DRAIN PIPES SHALL BE 3" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND INFILTRATION TRENCH TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.
5. SIX PERCOLATION TESTS FOR THE SEPTIC SYSTEM YIELDED PERCOLATION RATED RANGING FROM 3 TO 9 INCHES/HOUR.

GRADING NOTES

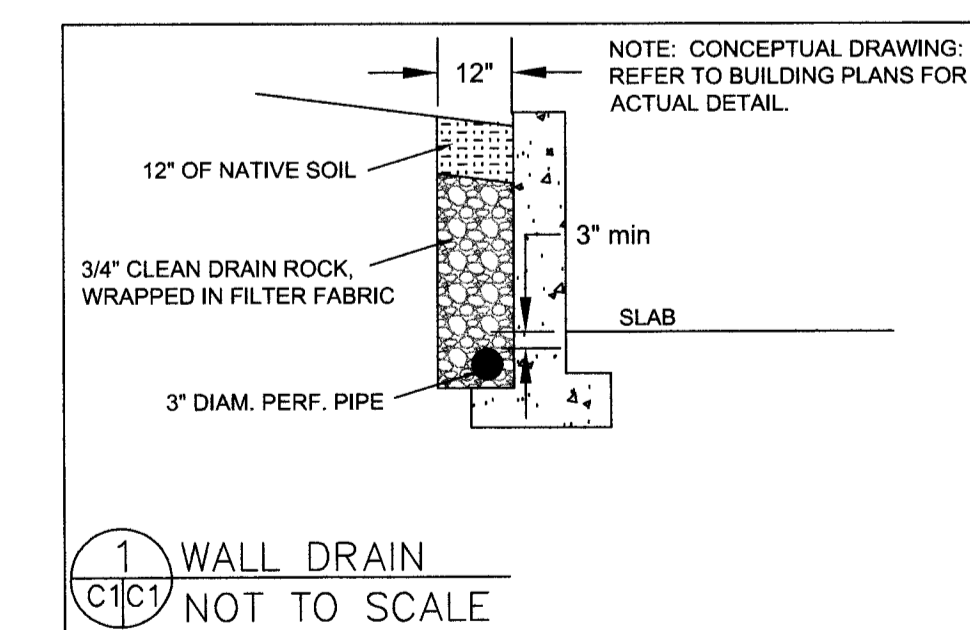
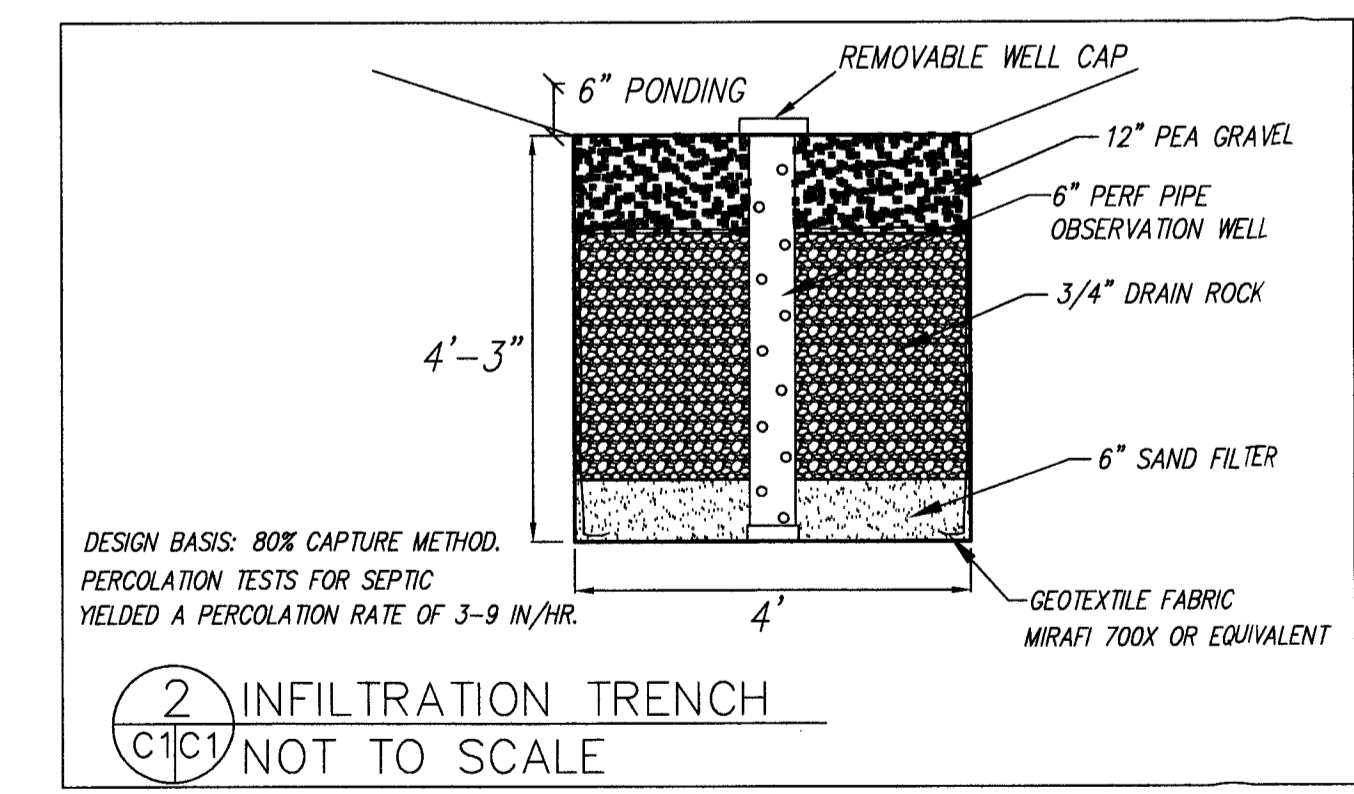
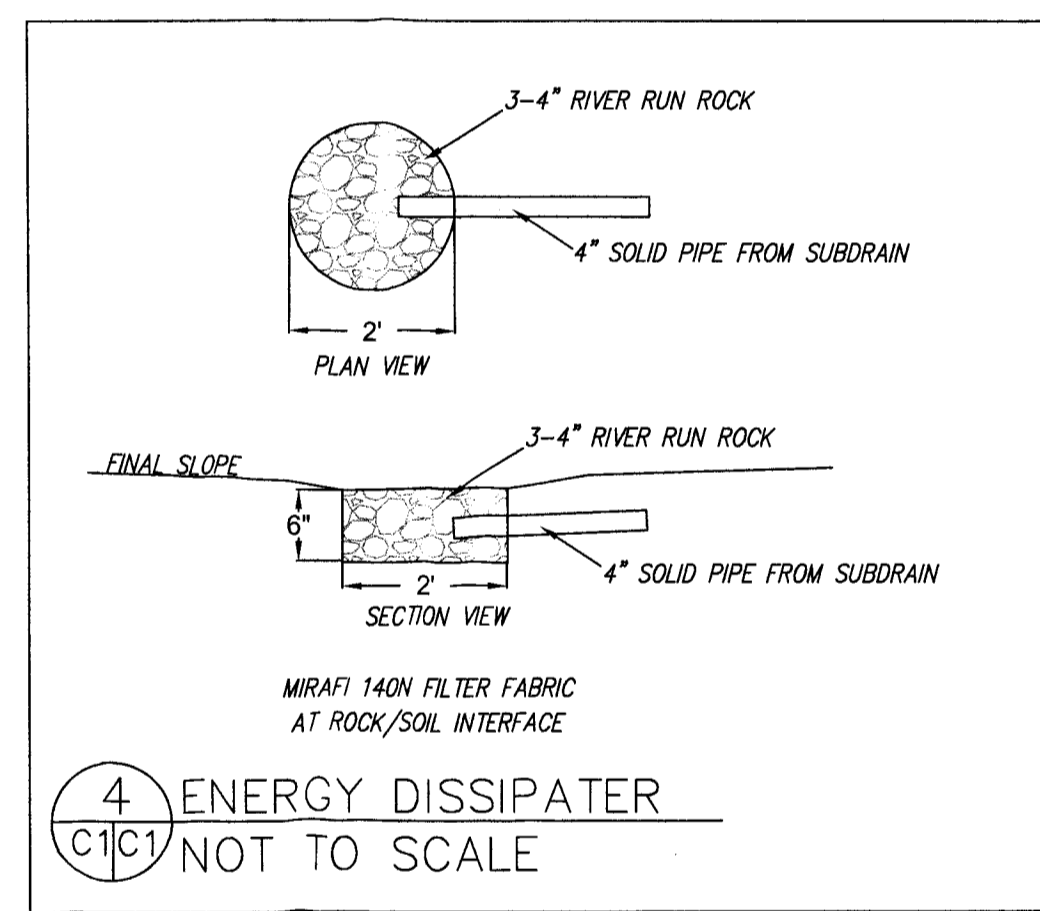
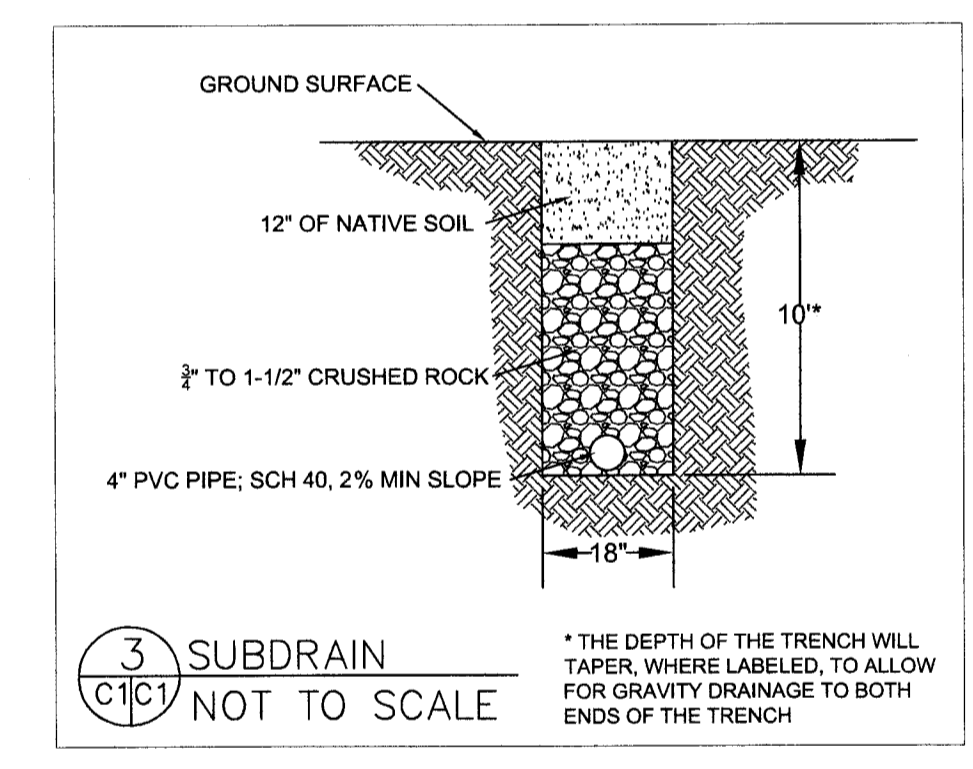
- CUT VOLUME : 410 CY
 FILL VOLUME : 175 CY
 CUT + FILL = 585 CY
1. ABOVE VOLUMES ARE APPROXIMATE AND ARE FOR VERY LITTLE WORK TO BUILD FOUNDATIONS, TO BUILD THE DRIVEWAY, AND TO SLOPE GROUND FOR PROPER DRAINAGE.
 2. EXISTING GRAVEL DRIVEWAY SHALL BE USED IN ITS CURRENT SIZE AND CONDITION.
 3. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
 4. CUT SLOPES SHALL BE NO STEEPER THAN 2:1 (H:V).
 5. ALL UTILITIES SHALL BE INSTALLED BASED ON COUNTY STANDARDS.

LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- SURFACE DRAINAGE FLOW
- DOWNSPOUT W/ SPLASH BLOCK
- 3" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- PROPOSED RETAINING WALL
- 10" PINE TREE TO BE REMOVED
- (E) = EXISTING
- (N) = NEW, OR PROPOSED



SECTION AND DETAIL CONVENTION

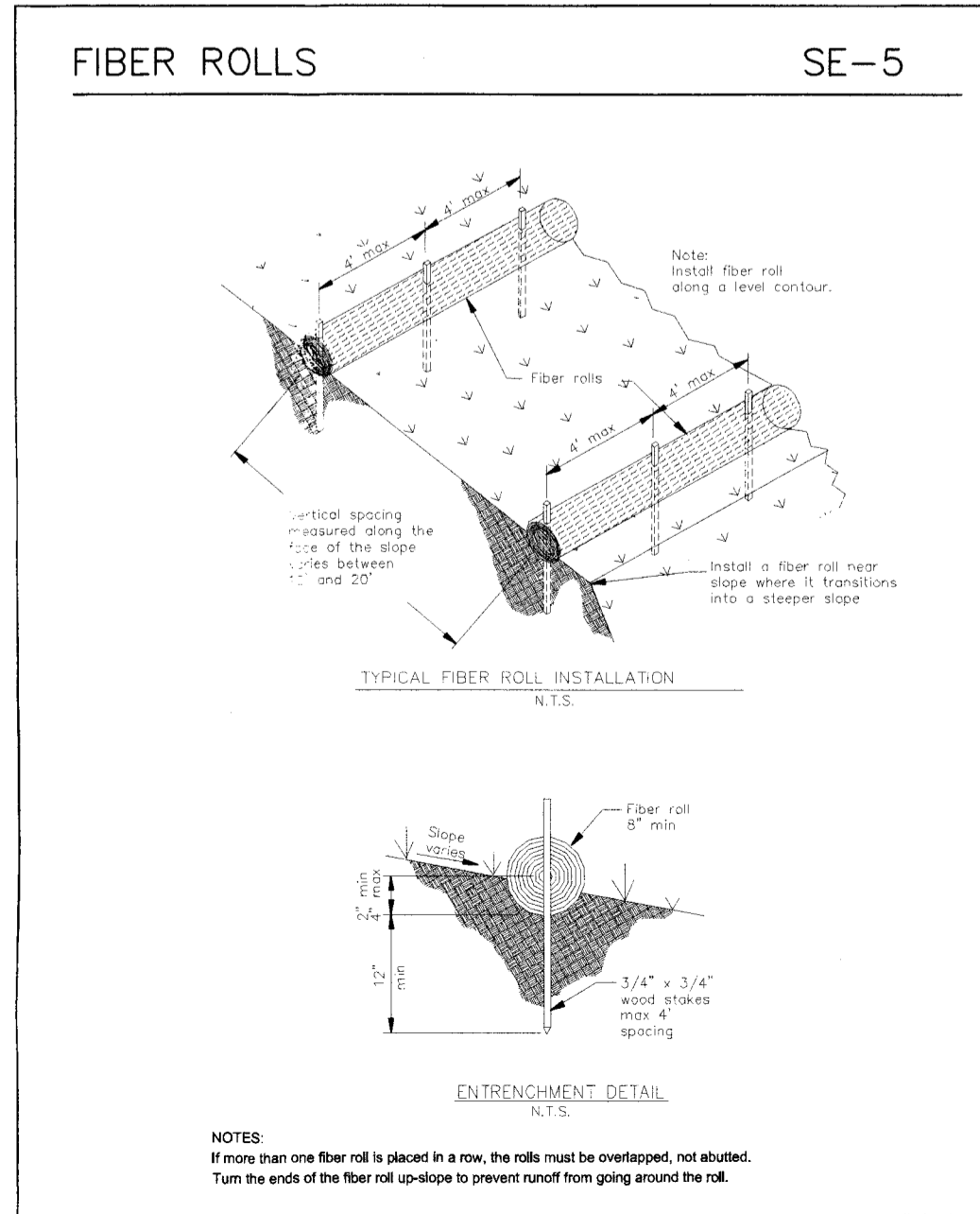
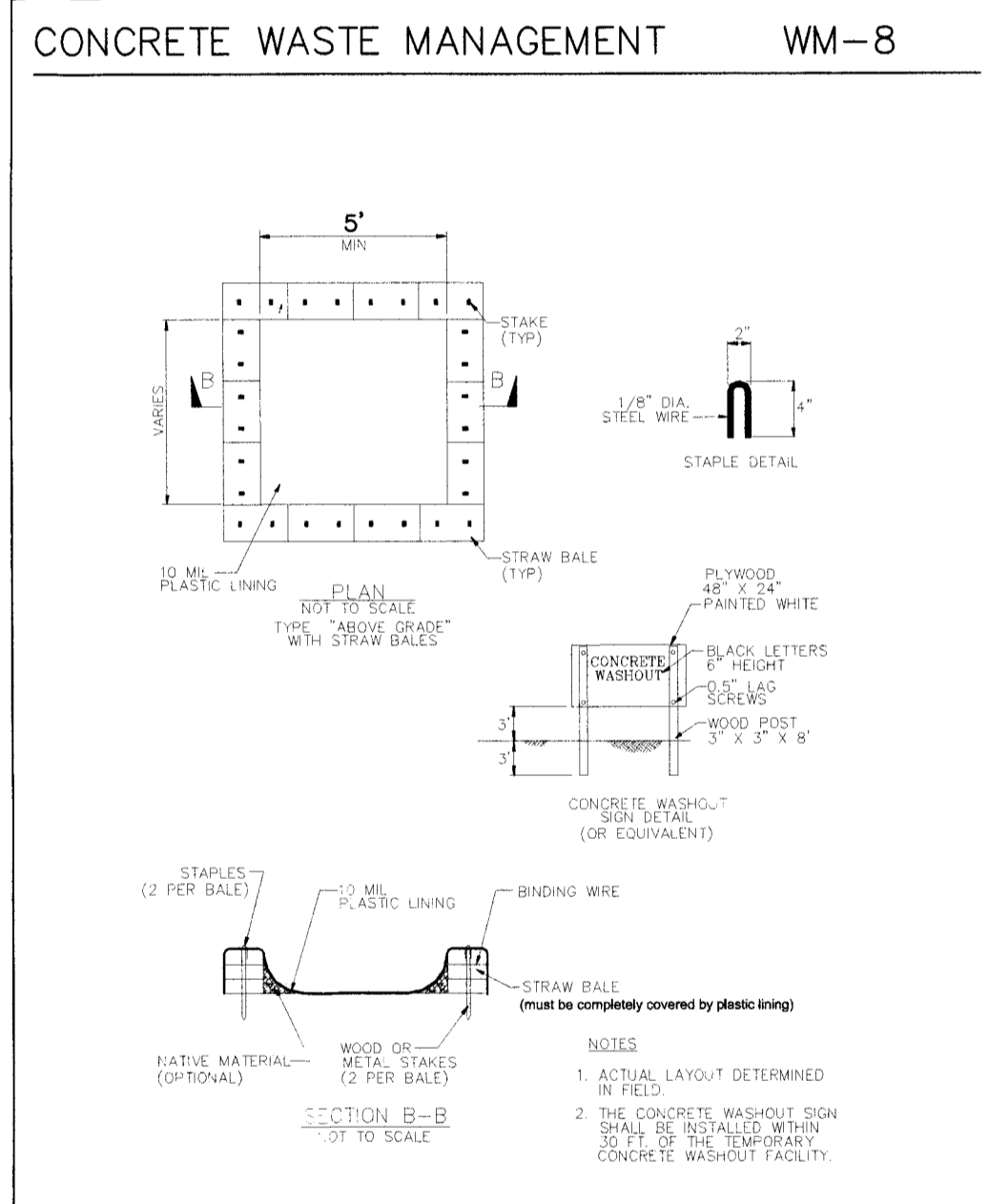
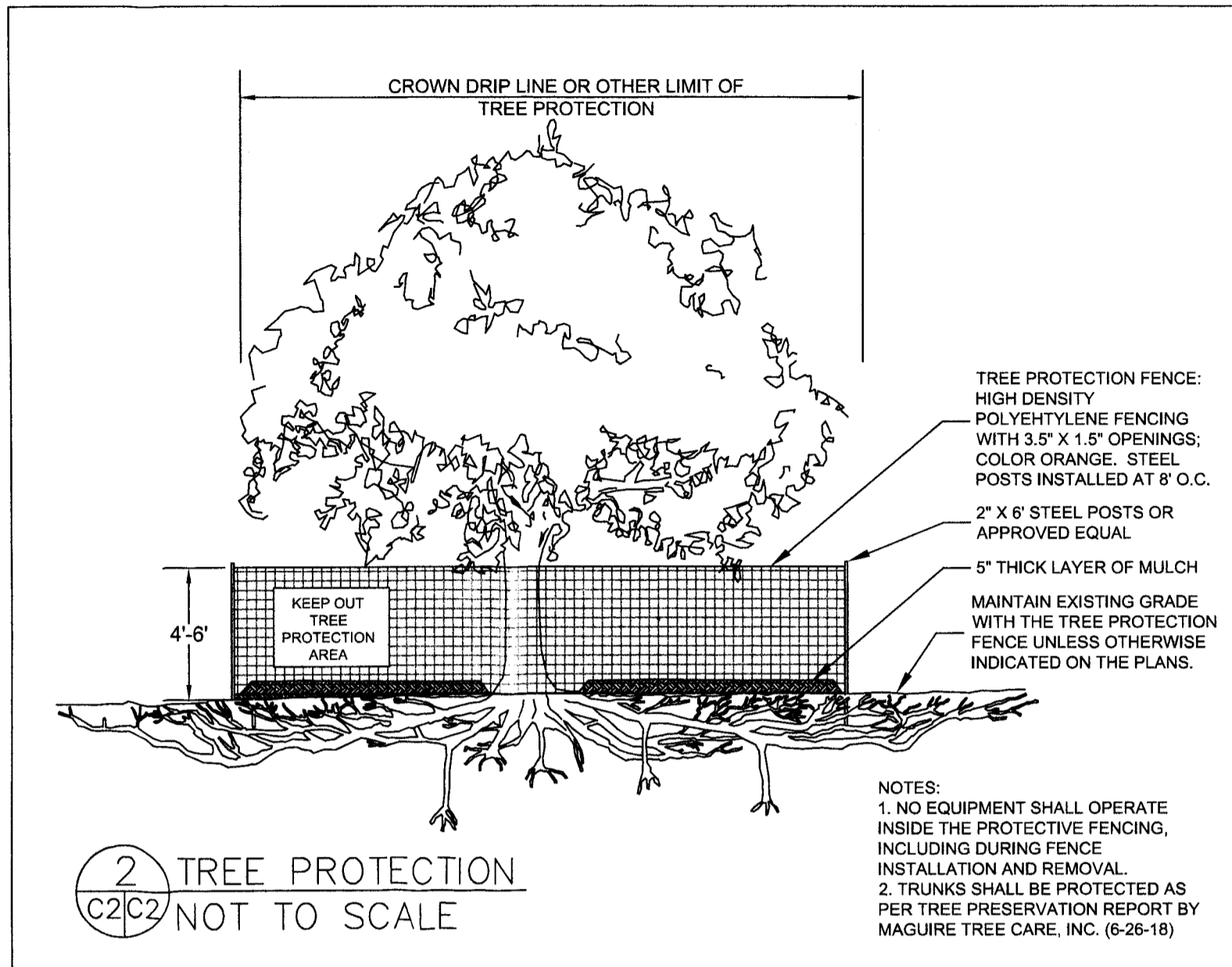


Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

DATE: 8-10-18	DRAWN BY: CMK
CHECKED BY: AZG	REV. DATE: 11-15-18
REV. DATE: 1-15-19	REV. DATE: 4-12-19
REV. DATE: 5-25-19	REV. DATE:

GRADING AND DRAINAGE PLAN
 McWHERTER PROPERTY,
 1237 GRANT RD.
 MONTARA, CALIFORNIA
 APN: 036-225-130

SHEET
C-1

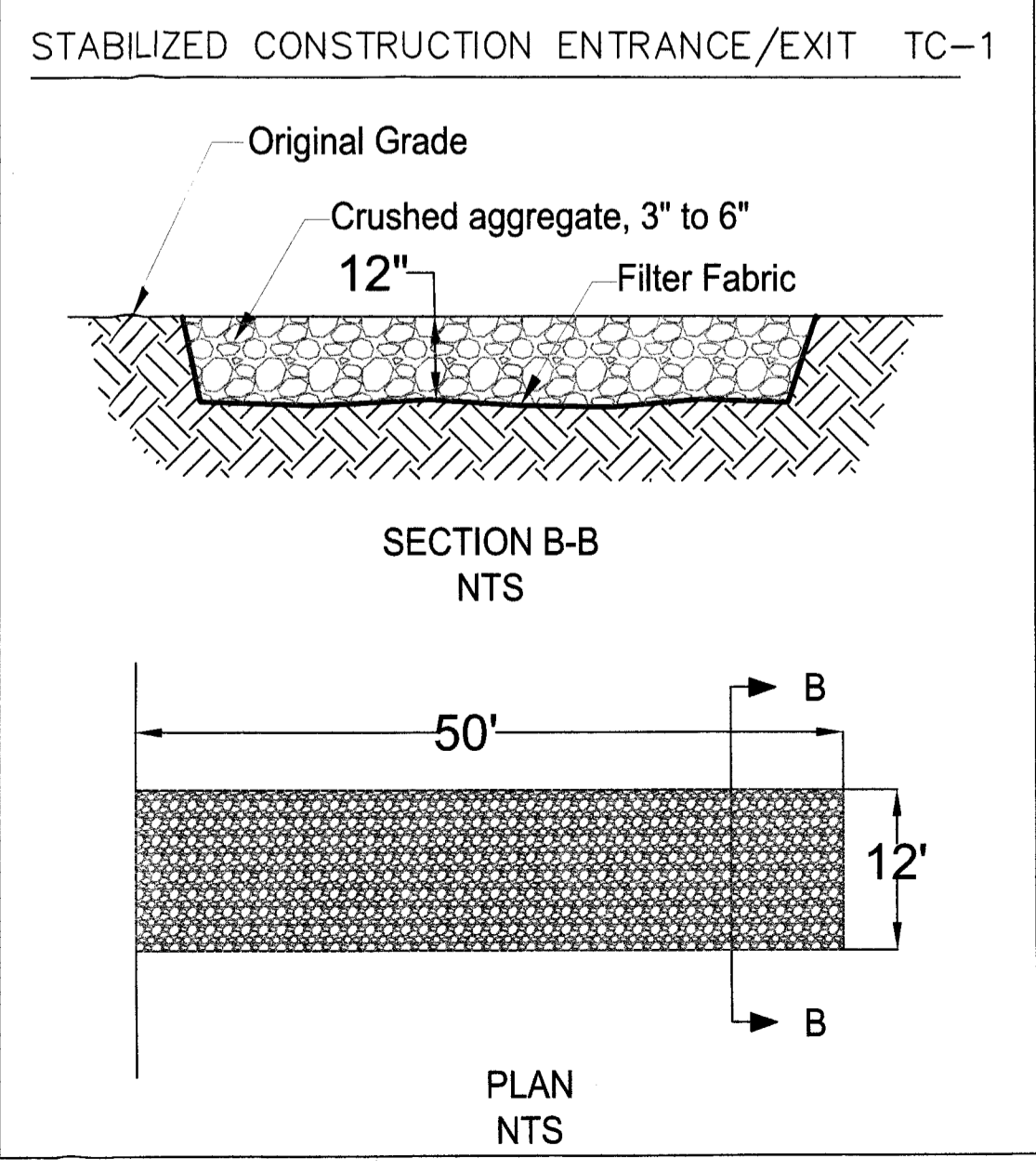


GENERAL EROSION AND SEDIMENT CONTROL NOTES

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Protect existing culvert at Grant Road with two rows of sand bags, as shown.

EROSION CONTROL NOTES

- 1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
- 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
- 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
- 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
- 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
- 6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 12 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
- 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)



- TREE PROTECTION NOTES**
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
 2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
 3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
 4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
 5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
 6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

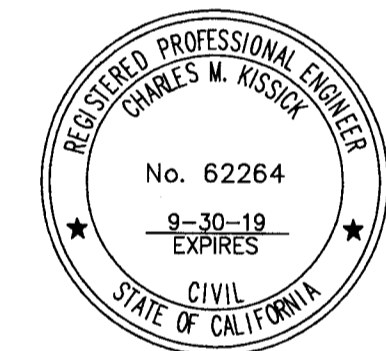
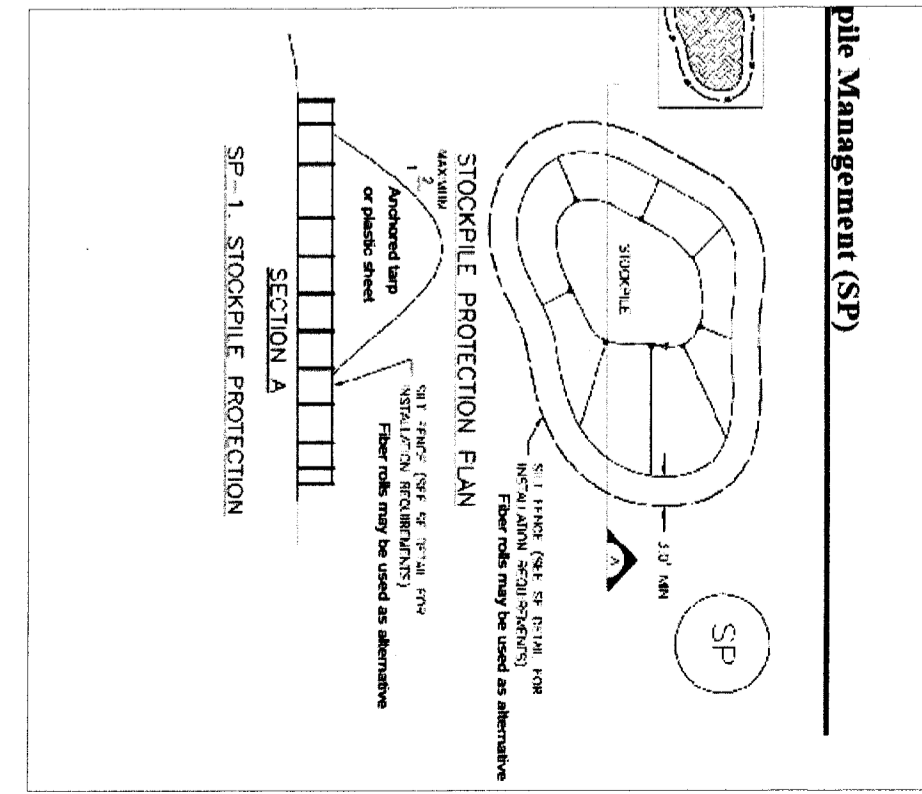
NAME: JORDAN McWHERTER

TITLE/QUALIFICATION: OWNER

PHONE: 650-888-9588

PHONE: _____

E-MAIL: taylordevelopment@gmail.com



Sigma Prime Geosciences, Inc.

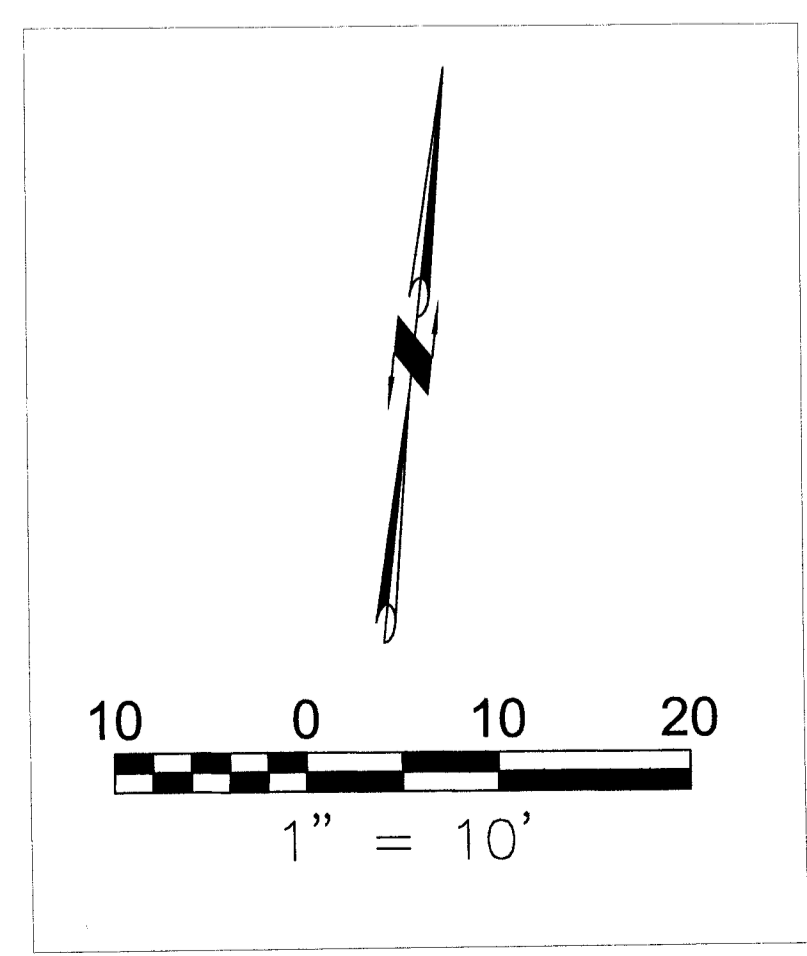
SIGMA PRIME GEOSCIENCES, INC.
332 FINECTION AVENUE
MONTARA, CA 94019
(650) 728-3590
FAX 728-3593

DATE: 8-10-18
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE: 11-5-18
REV. DATE: 6-20-19
REV. DATE: _____

EROSION, SEDIMENT CONTROL, AND TREE PROTECTION PLAN

McWHERTER PROPERTY,
1237 GRANT RD,
MONTARA, CALIFORNIA
APN: 036-225-130

SHEET
C-2

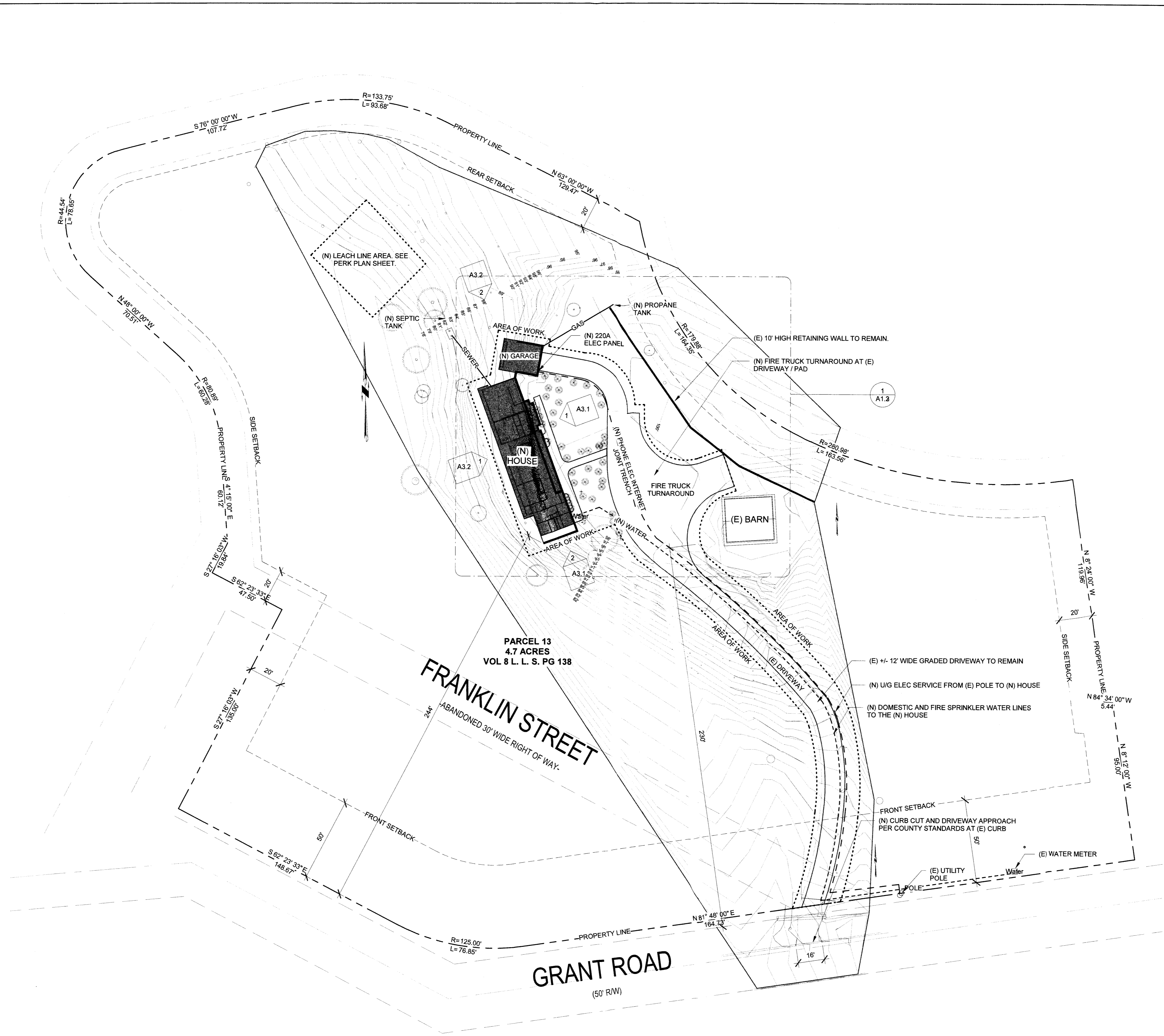


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 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

GRADING AND DRAINAGE,
 HOUSE SITE
 McWHERTER PROPERTY,
 1237 GRANT RD.
 MOMTARA, CALIFORNIA
 APN: 036-225-130

SHEET
 C-3

DATE: 11-5-18
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 6-20-19
 REV. DATE:
 REV. DATE:
 REV. DATE:



1 OVERALL SITE PLAN
1" = 30'-0"

T. Caldwell

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
2	08/16/2018	PLANNING SUBMITTAL
3	11/14/2018	PLANNING RESUBMITTAL
4	03/07/2019	2ND PLANNING RESUBMITTAL
5	06/20/2019	3RD PLANNING RESUBMITTAL

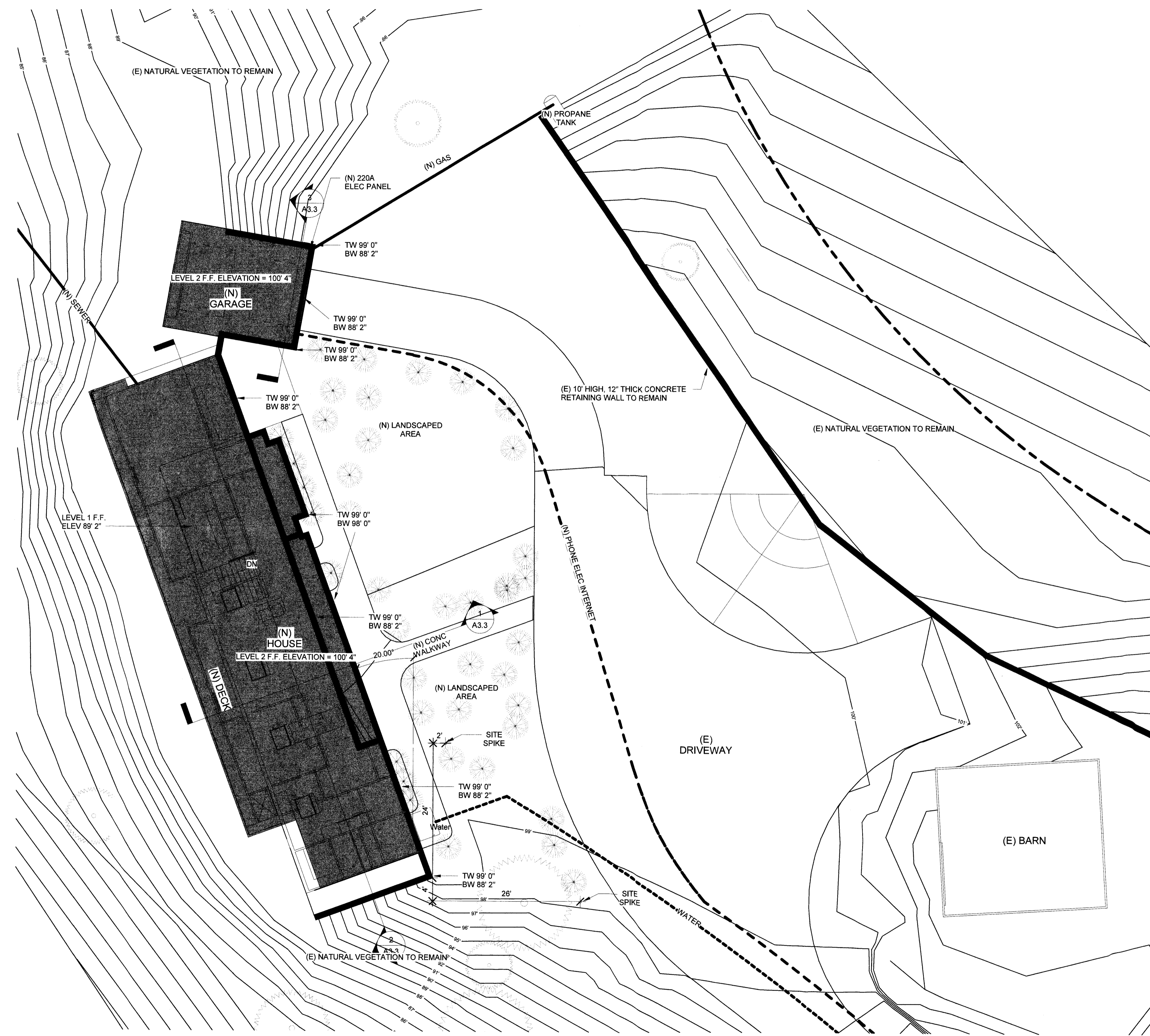
PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

PROJECT SCOPE:
**(N) TWO STORY, SINGLE FAMILY
HOME WITH (N) ATTACHED
GARAGE**

SHEET TITLE
**OVERALL SITE
PLAN**

SHEET
A1.1



1 PARTIAL SITE PLAN
1" = 10'-0"

T. J. ...

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
2	08/16/2018	PLANNING SUBMITTAL
3	11/14/2018	PLANNING RESUBMITTAL
4	03/07/2019	2ND PLANNING RESUBMITTAL
5	06/20/2019	3RD PLANNING RESUBMITTAL

PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

PROJECT SCOPE:
**(N) TWO STORY, SINGLE FAMILY
HOME WITH (N) ATTACHED
GARAGE**

SHEET TITLE
**PARTIAL SITE
PLAN**

SHEET
A1.2



① TURNAROUND PLAN
1" = 10'-0"

Tierney

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
2	08/16/2018	PLANNING SUBMITTAL
3	11/14/2018	PLANNING RESUBMITTAL
4	03/07/2019	2ND PLANNING RESUBMITTAL
5	06/20/2019	3RD PLANNING RESUBMITTAL

PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

PROJECT SCOPE:
**(N) TWO STORY, SINGLE FAMILY
HOME WITH (N) ATTACHED
GARAGE**

SHEET TITLE
**TURNAROUND
PLAN**

SHEET
A1.3

Tweed New



TREE SCHEDULE			
Mark	Type	Phase Created	Phase Demolished
	22" Pine	Existing	None
1	18" Pine	Existing	None
2	22" Pine	Existing	None
3	16" Pine	Existing	None
4	18" Pine	Existing	None
5	12" Pine	Existing	New Construction
6	8" Pine	Existing	New Construction
7	8" Pine	Existing	New Construction
8	10" Pine	Existing	New Construction
9	12" Pine	Existing	New Construction
10	10" Pine	Existing	None
11	18" Pine	Existing	New Construction
12	10" Pine	Existing	New Construction
13	18" Pine	Existing	New Construction
14	18" Pine	Existing	New Construction
15	18" Pine	Existing	New Construction
16	18" Pine	Existing	New Construction
17	12" Pine	Existing	New Construction
18	14" Pine	Existing	New Construction
19	10" Pine	Existing	None
20	16" Pine	Existing	New Construction
21	10" Pine	Existing	None
22	10" Pine	Existing	None
23	8" Pine	Existing	New Construction
24	16" Pine	Existing	New Construction
25	16" Pine	Existing	New Construction
26	10" Pine	Existing	New Construction
27	20" Pine	Existing	New Construction
28	12" Pine	Existing	New Construction
29	22" Pine	Existing	New Construction
30	10" Pine	Existing	New Construction
31	16" Pine	Existing	New Construction
32	18" Pine	Existing	New Construction
33	12" Pine	Existing	None
34	16" Pine	Existing	New Construction
35	24" Pine	Existing	New Construction
36	20" Pine	Existing	None
37	14" Pine	Existing	New Construction
38	10" Pine	Existing	None
39	16" Pine	Existing	None
40	20" Pine	Existing	None
41	8" Pine	Existing	None
42	24" Pine	Existing	New Construction

PLANT LIST							
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANT TYPE	NATIVE?	DROUGHT TOLERANT?	SOURCE?	IRRIGATION METHOD?
A	(not used)						
B	(not used)						
C	CELANOTHUS 'DARK STAR'	CALIFORNIA LILAC	SHRUB	X	X	BAY NATIVES	none
D	LUPINUS ALBERGONI	SILVER BUSH LUPINE	SHRUB	X	X	SUNSET	none
E	ARCTOSTAPHYLOS DENSIFLORA 'SUNSET'	SUNSET MANZANITA	SHRUB	X	X	BAY NATIVES	none
F	ERECAMERA ERICOIDES	CALIFORNIA GOLDENBUSH	SHRUB	X	X	SUNSET	none
G	GALVEZA SPECIOSA	ISLAND BUSH SNAPDRAGON	SHRUB	X	X	SUNSET	none
H	SALVA CLEVELANDI	CLEVELANDS SAGE	SHRUB	X	X	BAY NATIVES	none
I	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	GRASS		X		none
J	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	GRASS		X	SAN MARCOS GROWERS	none
K	SALVA CHAMAEDRYOIDES	'SEE'S BLISS' SAGE	PERENNIAL	X	X	SUNSET	none
L	IRIS DOUGLASSIANA 'CANYON SNOW'	CANYON SNOW IRIS	PERENNIAL	X	X	SUNSET	none
M	ARMBIS BLEPHAROPHYLLA	COAST ROCK CRESS	PERENNIAL	X	X	SUNSET	none
N	SOD FESCUE BLEND	FESCUE BLEND SOD	SOD	X	X	BAY NATIVES	none

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
2	08/16/2018	PLANNING SUBMITTAL
3	11/14/2018	PLANNING RESUBMITTAL
4	03/07/2019	2ND PLANNING RESUBMITTAL
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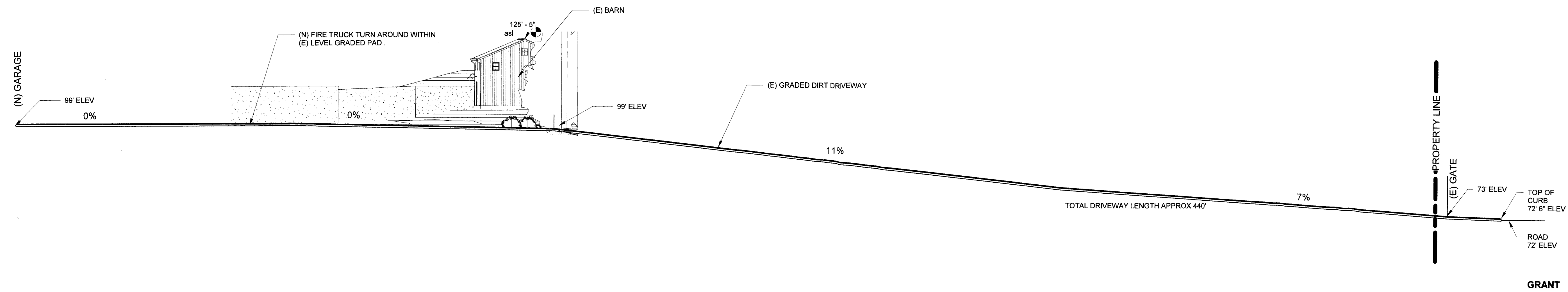
PROJECT NAME:
**NEW SINGLE FAMILY HOME
 MCWHERTER RESIDENCE**

PROJECT ADDRESS:
**1237 GRANT ROAD
 MONTARA, CA 94037**

PROJECT SCOPE:
 (N) TWO STORY, SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

SHEET TITLE:
**TREE AND
 LANDSCAPE
 PLAN**

SHEET
A1.4



① DRIVEWAY PROFILE
1/16" = 1'-0"

T. McWhorter

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
2	08/16/2018	PLANNING SUBMITTAL
3	11/14/2018	PLANNING RESUBMITTAL
4	03/07/2019	2ND PLANNING RESUBMITTAL
5	06/20/2019	3RD PLANNING RESUBMITTAL

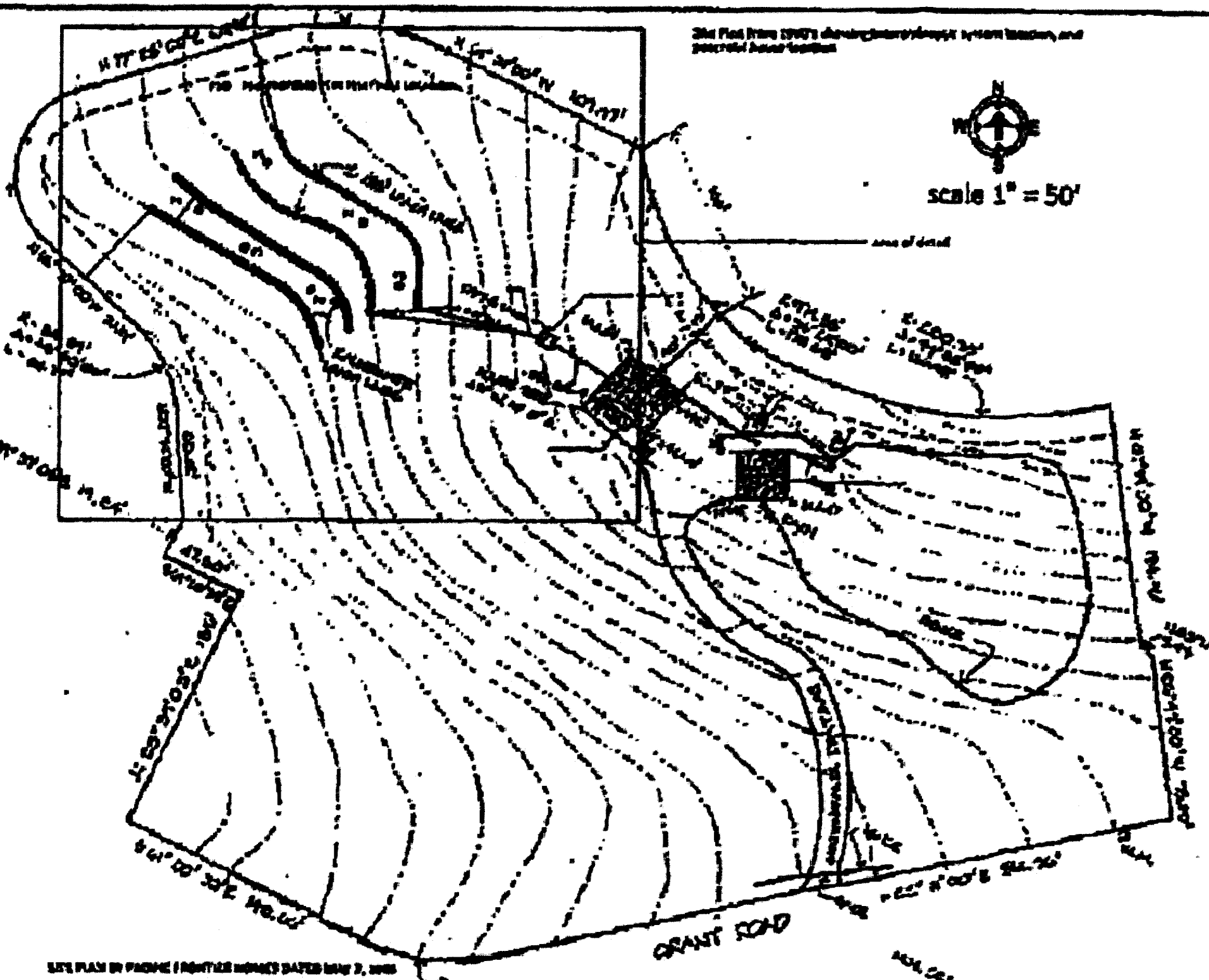
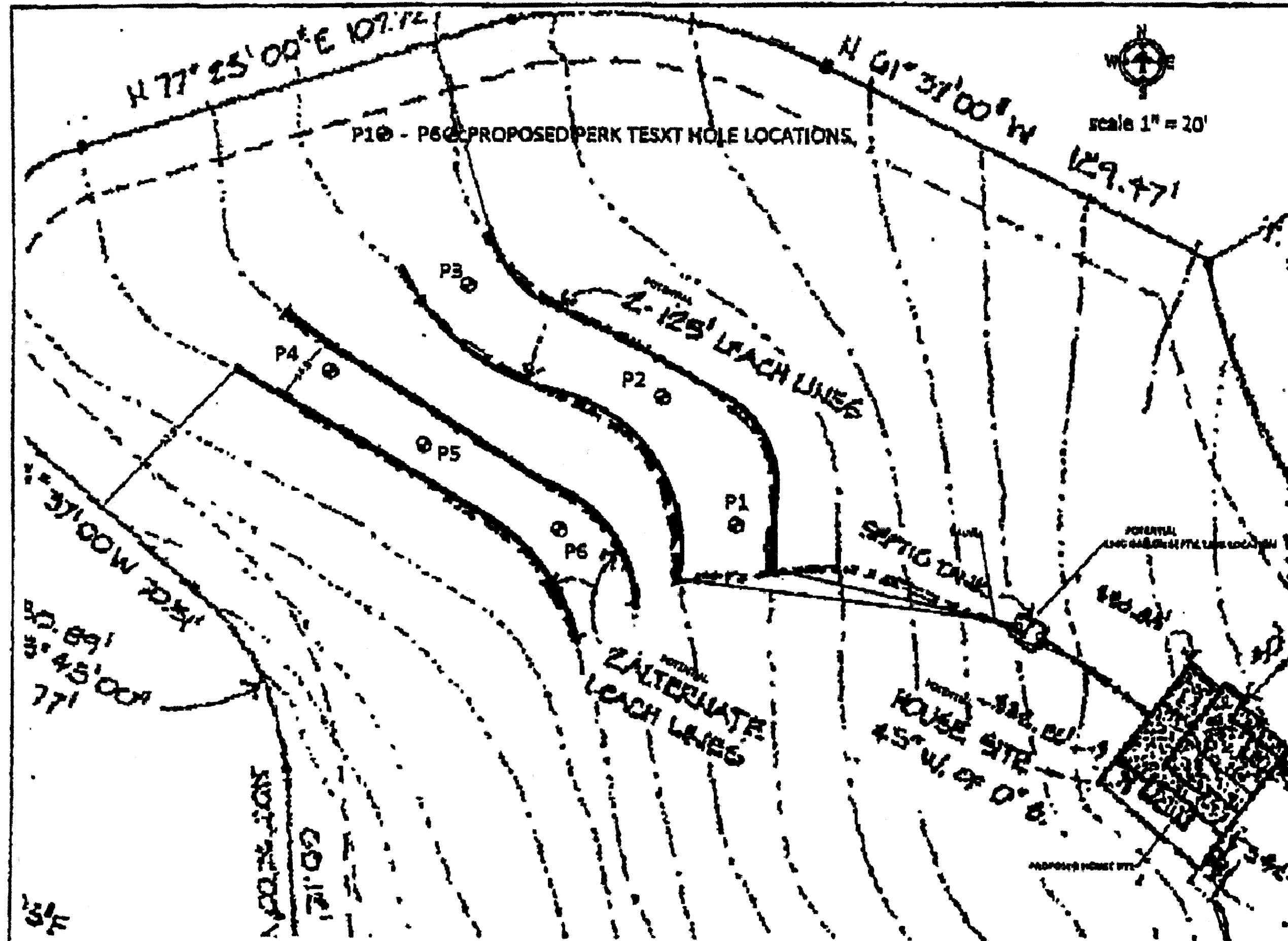
PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

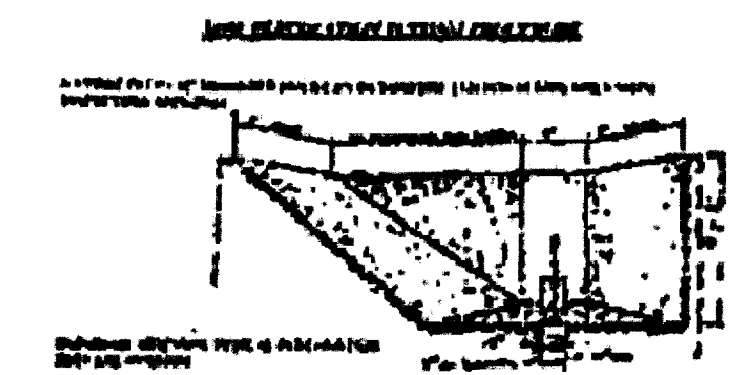
PROJECT SCOPE:
**(N) TWO STORY, SINGLE FAMILY
HOME WITH (N) ATTACHED
GARAGE**

SHEET TITLE
**DRIVEWAY
PROFILE**

SHEET
A1.5



- Setbacks that Apply to Septic Systems**
- SECTION 1521 - LAND USE:**
1. The setbacks for any building shall be as follows:
 - a. Five (5) feet for any building.
 - b. Five (5) feet for any building for any building which is not a public water supply. The (5) feet of any building for any building which is not a public water supply.
 - c. Five (5) feet for any building for any building which is not a public water supply.
 - d. Five (5) feet for any building for any building which is not a public water supply.
 2. The setbacks for any building shall be as follows:
 - a. Five (5) feet for any building.
 - b. Five (5) feet for any building.
 - c. Five (5) feet for any building.
 - d. Five (5) feet for any building.
 3. The setbacks for any building shall be as follows:
 - a. Five (5) feet for any building.
 - b. Five (5) feet for any building.
 - c. Five (5) feet for any building.
 - d. Five (5) feet for any building.

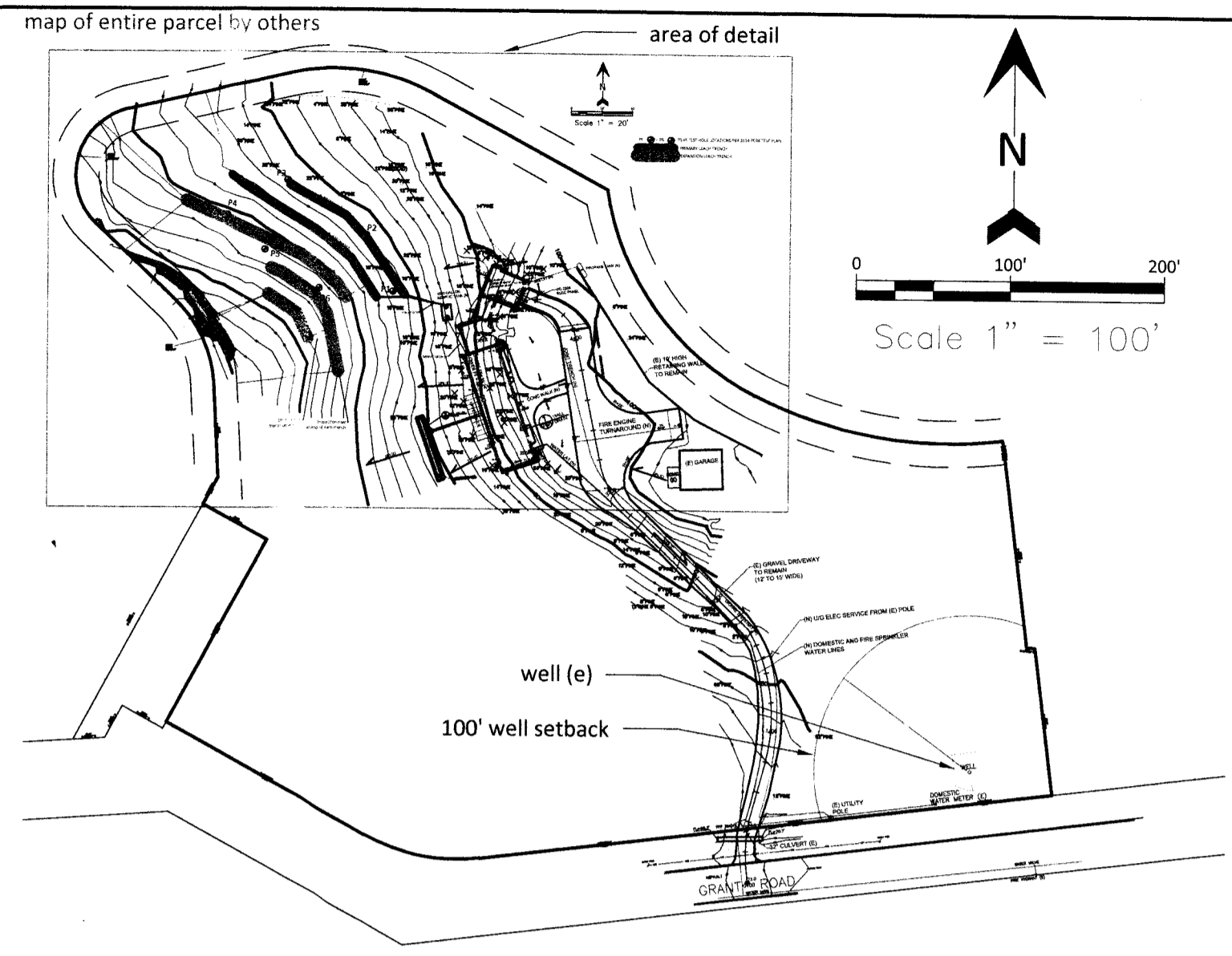
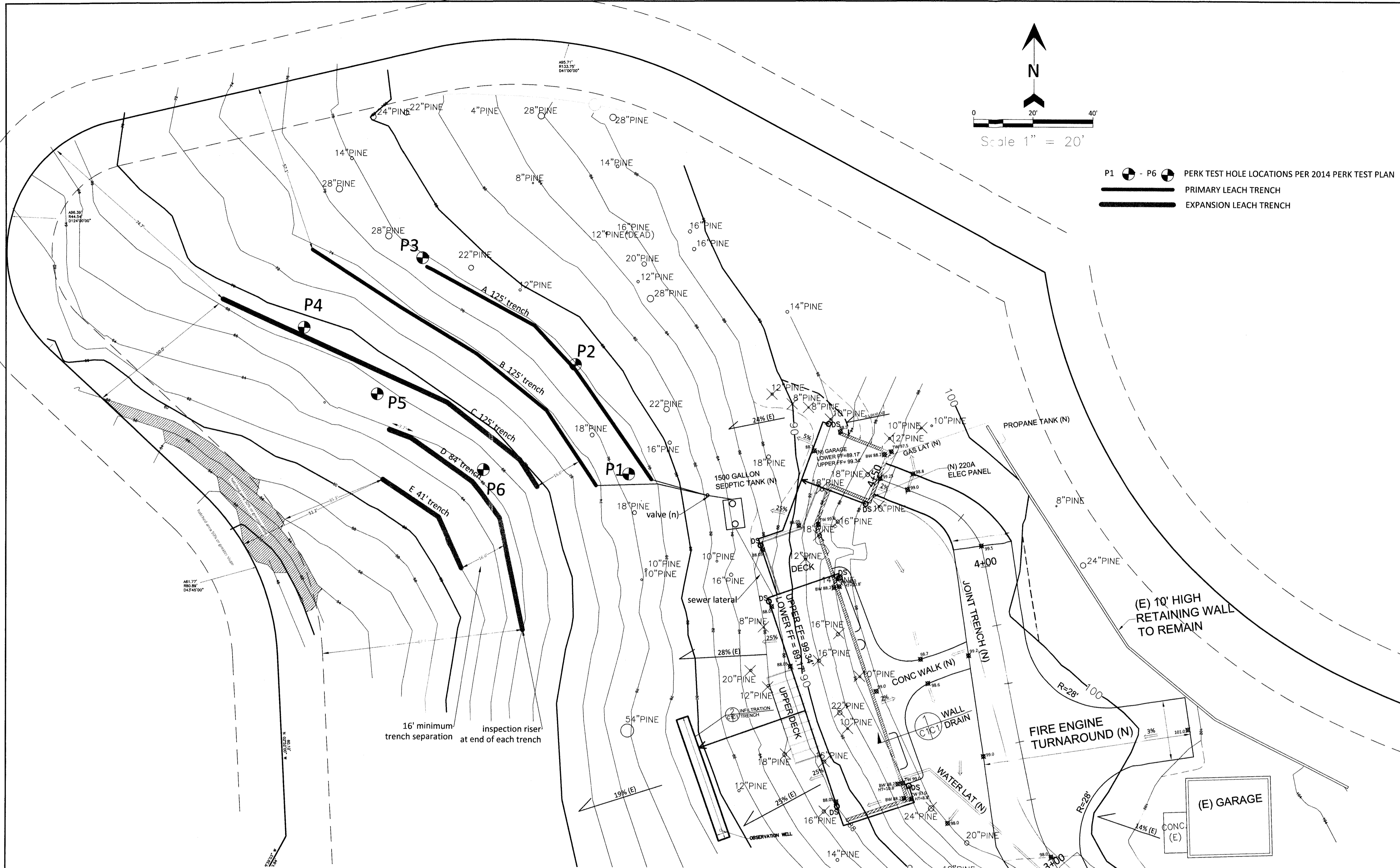


- SCOPE OF WORK**
- The following work shall be done under the supervision of the County of San Mateo and shall be done in accordance with the County of San Mateo Code.
1. Excavate a one (1) foot wide trench to a depth of ground water and install a one (1) foot wide pipe to the septic tank.
 2. Install the pipe to the septic tank.
 3. Install the pipe to the septic tank.
 4. Install the pipe to the septic tank.
 5. Install the pipe to the septic tank.

PERK TEST PROCEDURE

The perk test shall be done in accordance with the County of San Mateo Code. The perk test shall be done in accordance with the County of San Mateo Code.

S.R. HARTSELL, R.E. H.S. P.O. BOX 942 PACIFICA, CA 94044 (415) 352-1111	
PERCOLATION TEST PLAN	
1237 Grant Road Montara, CA 94037 APN 036-225-130	
October 19, 2004	
WORK AS NOTED	
BY	
PERK	
1 OF 1	

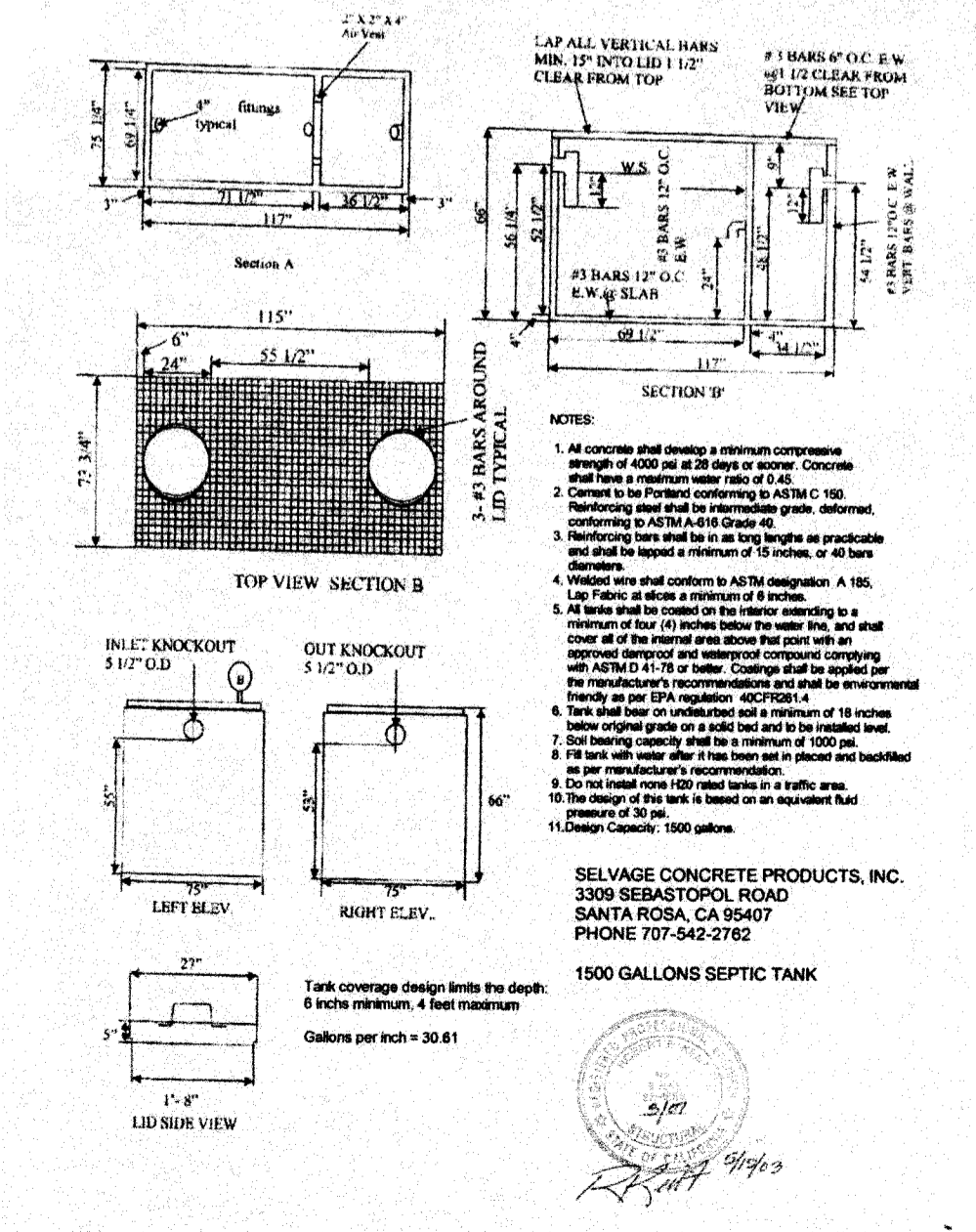


Langley Hill Quarry
 Ph: 650-851-0128 • Septic Systems Installed & Repaired • Lic. No. A702033
 SMC Certified Installer No. 01
 SMC Soil Percolation Tester No. 027

Observed in Field By: *Stan L...* Date: *11-25-19*

1/2 HOUR INTERVALS	READINGS	HOLE #1	HOLE #2	HOLE #3	HOLE #4	HOLE #5	HOLE #6
1:30-2:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
2:00-2:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
2:30-3:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
3:00-3:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
3:30-4:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
4:00-4:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
4:30-5:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
5:00-5:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
5:30-6:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
6:00-6:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
6:30-7:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
7:00-7:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
7:30-8:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
8:00-8:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
8:30-9:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
9:00-9:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
9:30-10:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
10:00-10:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
10:30-11:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
11:00-11:30	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
11:30-12:00	FINISH	2 1/2"	3"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
	START	4"	4"	4"	4"	4"	4"
	DIFF.	1 1/2"	1"	1 1/2"	1 1/2"	1 1/2"	1 1/2"

APPLICANTS NAME: LANGLEY HILL QUARRY PHONE: 650-851-0128
 OWNERS NAME: APN: 036-225-130
 ADDRESS: 1237 Grant Road Montara, CA 94027 571C
 SIZE OF PARCEL: WATER SOURCE: Public? SUBDIVISION:
 WET WEATHER TESTING REQUIRED? YES / NO DEPTH TO GROUND WATER: 11' Day
 SOIL LOG: *Black Sandy loam top soil - Reddish Brown Decomposed Granite*



S. R. HARTSELL, R.E.H.S.
 202 WATERFORD DRIVE
 VACAVILLE, CA 95688
 shartsell@gmail.com (650) 888-2419

SEPTIC SYSTEM PLAN

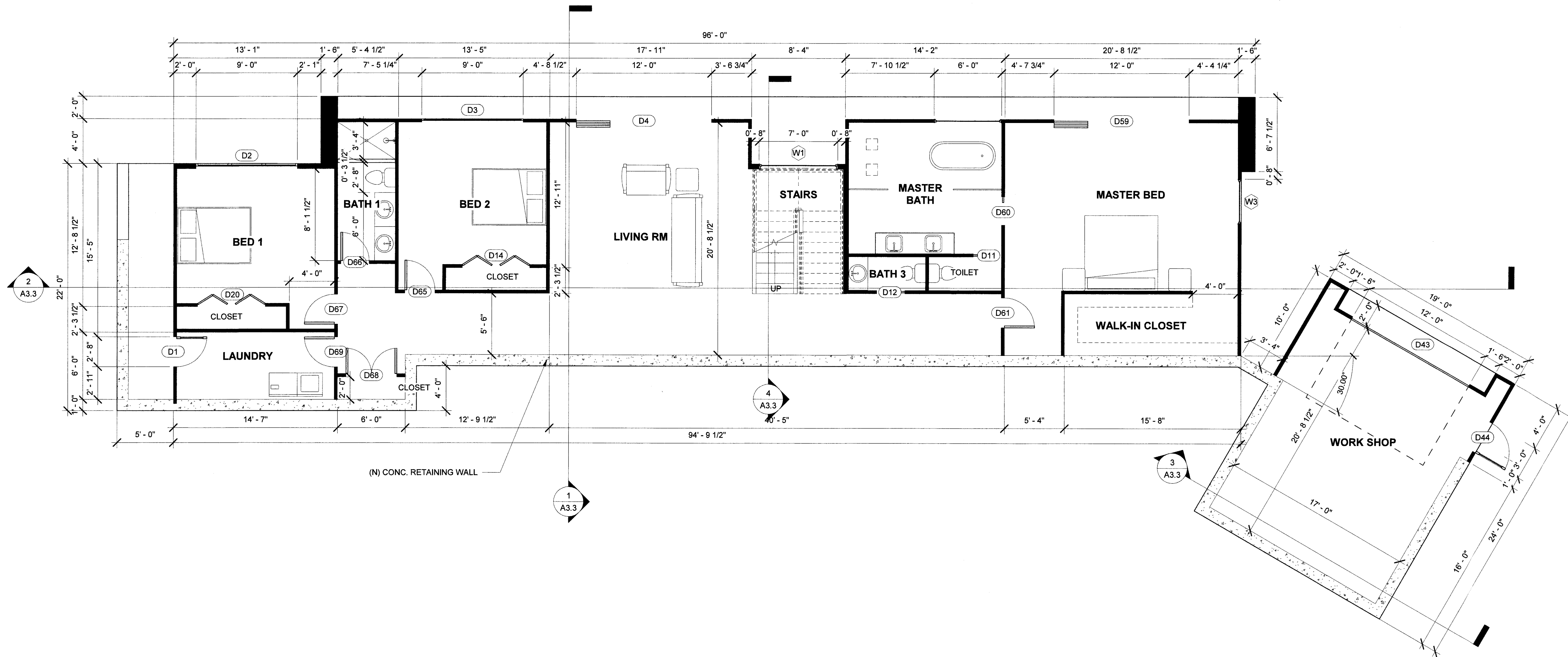
1237 GRANT ROAD
 MONTARA, CA 94037
 APN 036-225-130

JANUARY 16, 2019
 SCALE AS NOTED
 BY SRH

PAGE
SEPTIC SYSTEM PLAN
 1 OF 1

LEVEL 1 DOOR SCHEDULE						
Mark	Count	Width	Height	Level	Operation	Comments
D1	1	2'-8"	8'-0"	LEVEL 1 F.F.	SINGLE	
D2	1	9'-0"	8'-0"	LEVEL 1 F.F.	SLIDING	
D3	1	9'-0"	8'-0"	LEVEL 1 F.F.	SLIDING	
D4	1	12'-0"	8'-0"	LEVEL 1 F.F.	SLIDING	
D11	1	2'-6"	7'-0"	LEVEL 1 F.F.	POCKET	
D12	1	2'-6"	7'-0"	LEVEL 1 F.F.	POCKET	
D14	1	6'-0"	7'-0"	LEVEL 1 F.F.	FOLDING	
D20	1	6'-0"	6'-8"	LEVEL 1 F.F.	FOLDING	
D43	1	12'-0"	8'-0"	LEVEL 1 F.F.	OVERHEAD	
D44	1	3'-0"	8'-0"	LEVEL 1 F.F.	SINGLE	
D59	1	12'-0"	8'-0"	LEVEL 1 F.F.	SLIDING	
D60	1	2'-6"	7'-0"	LEVEL 1 F.F.	POCKET	
D61	1	2'-8"	8'-0"	LEVEL 1 F.F.	SINGLE	
D65	1	2'-8"	8'-0"	LEVEL 1 F.F.	SINGLE	
D66	1	2'-6"	7'-0"	LEVEL 1 F.F.	SINGLE	
D67	1	2'-8"	8'-0"	LEVEL 1 F.F.	SINGLE	
D68	1	4'-6"	7'-0"	LEVEL 1 F.F.	DOUBLE	
D69	1	2'-8"	8'-0"	LEVEL 1 F.F.	SINGLE	

LEVEL 1 WINDOW SCHEDULE								
Mark	Count	Width	Height	Sill Height	Head Height	Level	Operation	Comments
W1	1	7'-0"	10'-0"	0'-0"	10'-0"	LEVEL 1 F.F.	FIXED	
W3	1	4'-0"	8'-0"	0'-0"	8'-0"	LEVEL 1 F.F.	FIXED	
W14	1	6'-0"	8'-0"	0'-0"	8'-0"	LEVEL 1 F.F.	FIXED	
W15	1	3'-0"	5'-0"	1'-10"	6'-10"	ANNEX T.O. ROOF	FIXED	



1 LEVEL 1 FLOOR PLAN
3/16" = 1'-0"

T. McWhorter

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
2	08/16/2018	PLANNING SUBMITTAL
3	11/14/2018	PLANNING RESUBMITTAL
4	03/07/2019	2ND PLANNING RESUBMITTAL
5	06/20/2019	3RD PLANNING RESUBMITTAL

PROJECT SCOPE:
(N) TWO STORY, SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

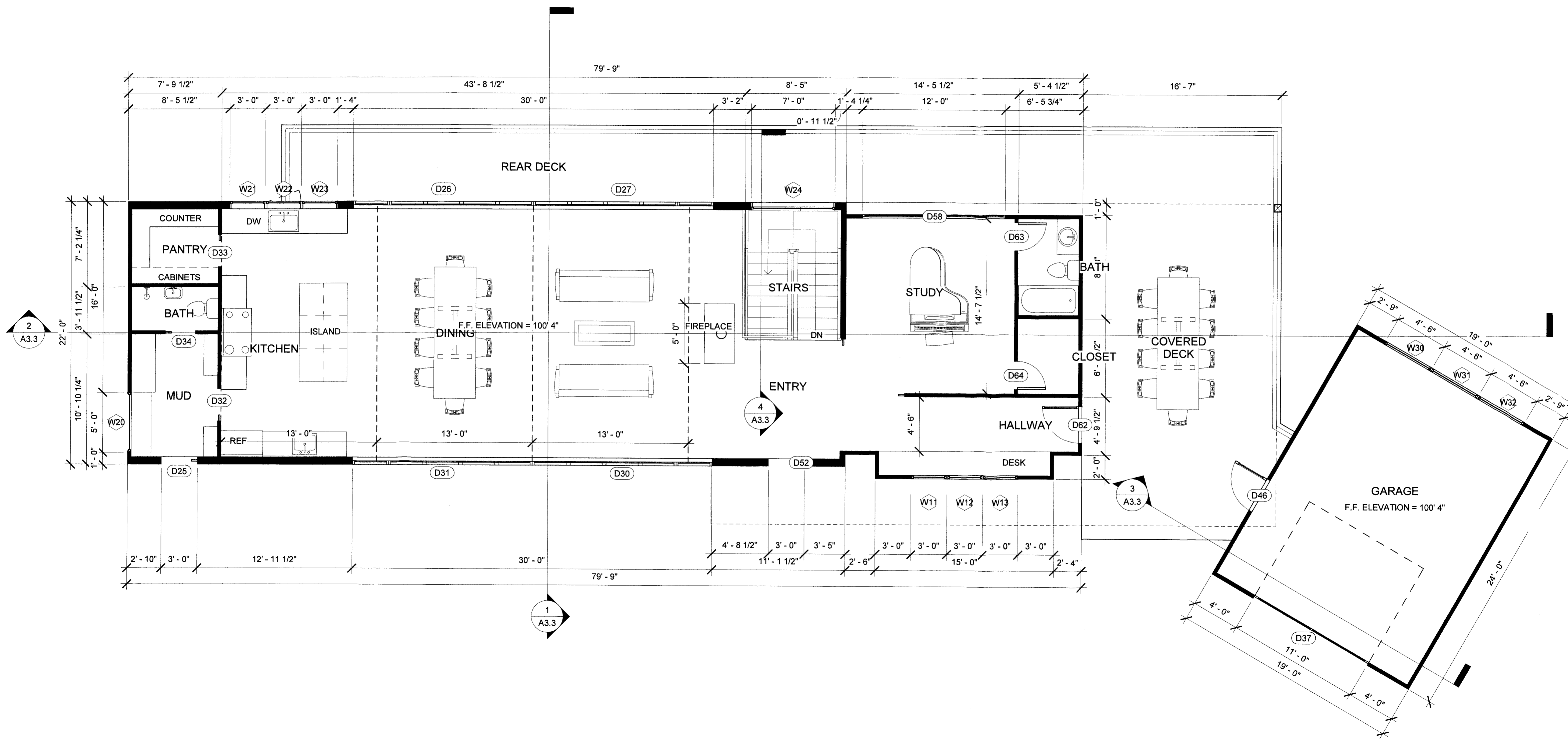
PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

SHEET TITLE
LEVEL 1 FLOOR PLAN

SHEET
A2.1

LEVEL 2 DOOR SCHEDULE						
Mark	Count	Width	Height	Level	Operation	Comments
D25	1	3'-0"	9'-0"	LEVEL 2 F.F.	POCKET	
D26	1	15'-0"	9'-0"	LEVEL 2 F.F.	SLIDING	
D27	1	15'-0"	9'-0"	LEVEL 2 F.F.	SLIDING	
D30	1	15'-0"	9'-0"	LEVEL 2 F.F.	SLIDING	
D31	1	15'-0"	9'-0"	LEVEL 2 F.F.	SLIDING	
D32	1	2'-8"	8'-0"	LEVEL 2 F.F.	POCKET	
D33	1	2'-8"	8'-0"	LEVEL 2 F.F.	POCKET	
D34	1	2'-6"	7'-0"	LEVEL 2 F.F.	POCKET	
D37	1	11'-0"	9'-0"	LEVEL 2 F.F.	OVERHEAD	
D46	1	3'-0"	8'-0"	LEVEL 2 F.F.	SINGLE	
D52	1	3'-0"	9'-0"	LEVEL 2 F.F.	POCKET	
D56	1	5'-0"	10'-0"	LEVEL 2 F.F.	POCKET	
D57	1	5'-0"	10'-0"	LEVEL 2 F.F.	POCKET	
D58	1	12'-0"	9'-0"	LEVEL 2 F.F.	SLIDING	
D62	1	3'-0"	9'-0"	LEVEL 2 F.F.	SINGLE	
D63	1	2'-4"	8'-0"	LEVEL 2 F.F.	SINGLE	
D64	1	2'-4"	8'-0"	LEVEL 2 F.F.	SINGLE	

LEVEL 2 WINDOW SCHEDULE								
Mark	Count	Width	Height	Sill Height	Head Height	Level	Operation	Comments
W11	1	3'-0"	5'-6"	3'-0"	8'-6"	LEVEL 2 F.F.	FIXED	
W12	1	3'-0"	5'-6"	3'-0"	8'-6"	LEVEL 2 F.F.	FIXED	
W13	1	3'-0"	5'-6"	3'-0"	8'-6"	LEVEL 2 F.F.	FIXED	
W15	1	3'-0"	5'-0"	1'-10"	6'-10"	ANNEX T.O. ROOF	FIXED	
W20	1	5'-0"	9'-0"	0'-0"	9'-0"	LEVEL 2 F.F.	FIXED	
W21	1	3'-0"	5'-6"	3'-6"	9'-0"	LEVEL 2 F.F.	FIXED	
W22	1	3'-0"	5'-6"	3'-6"	9'-0"	LEVEL 2 F.F.	CASEMENT	
W23	1	3'-0"	5'-6"	3'-6"	9'-0"	LEVEL 2 F.F.	FIXED	
W24	1	7'-0"	9'-0"	0'-0"	9'-0"	LEVEL 2 F.F.	FIXED	
W30	1	4'-6"	4'-6"	3'-6"	8'-0"	LEVEL 2 F.F.	FIXED	
W31	1	4'-6"	4'-6"	3'-6"	8'-0"	LEVEL 2 F.F.	FIXED	
W32	1	4'-6"	4'-6"	3'-6"	8'-0"	LEVEL 2 F.F.	FIXED	



1 LEVEL 2 FLOOR PLAN
3/16" = 1'-0"

Tierney

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
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5	06/20/2019	3RD PLANNING RESUBMITTAL

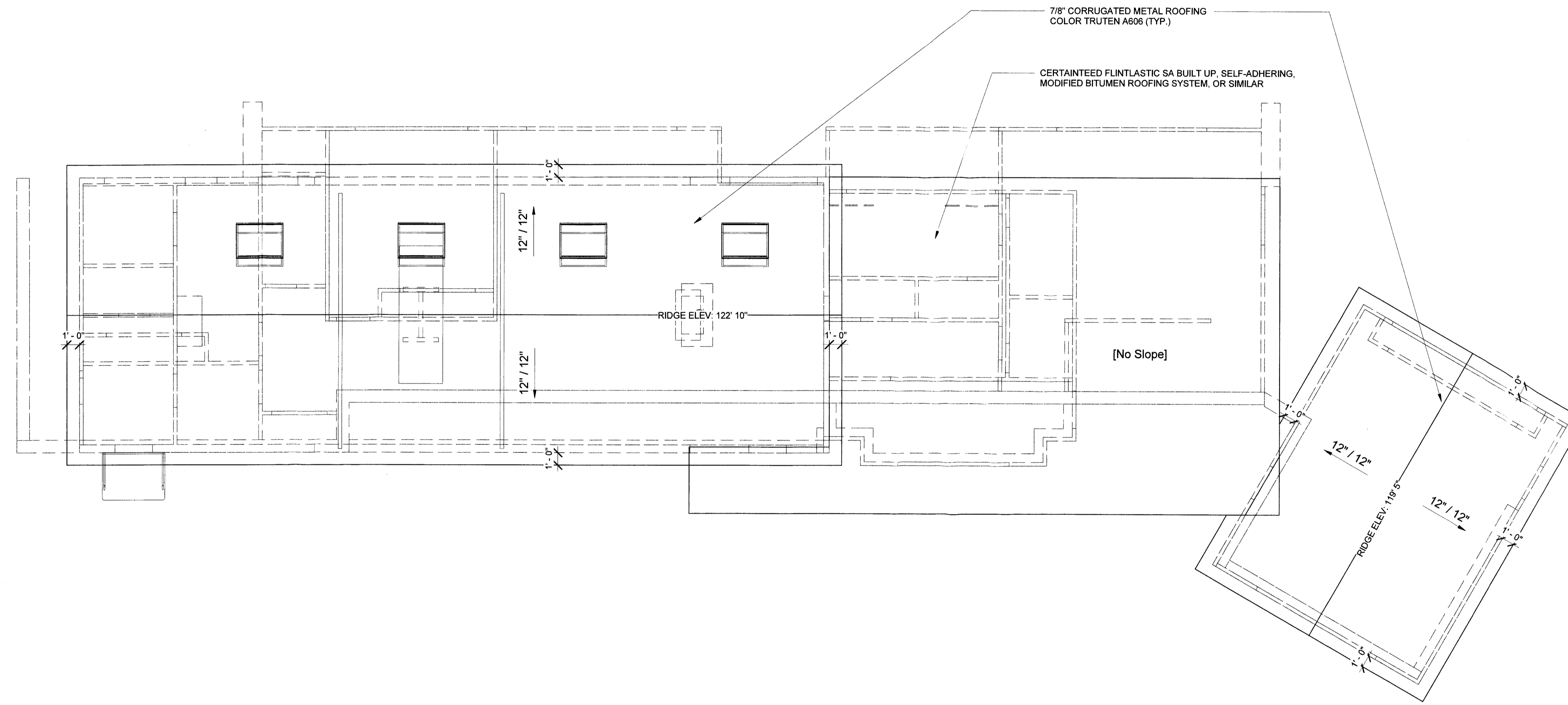
PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

PROJECT SCOPE:
**(N) TWO STORY, SINGLE FAMILY
HOME WITH (N) ATTACHED
GARAGE**

SHEET TITLE
**LEVEL 2 FLOOR
PLAN**

SHEET
A2.2



① ROOF PLAN
3/16" = 1'-0"

T. ...

REV	DATE	DESCRIPTION
1	04/10/2018	PRE APPLICATION MEETING
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5	08/20/2019	3RD PLANNING RESUBMITTAL

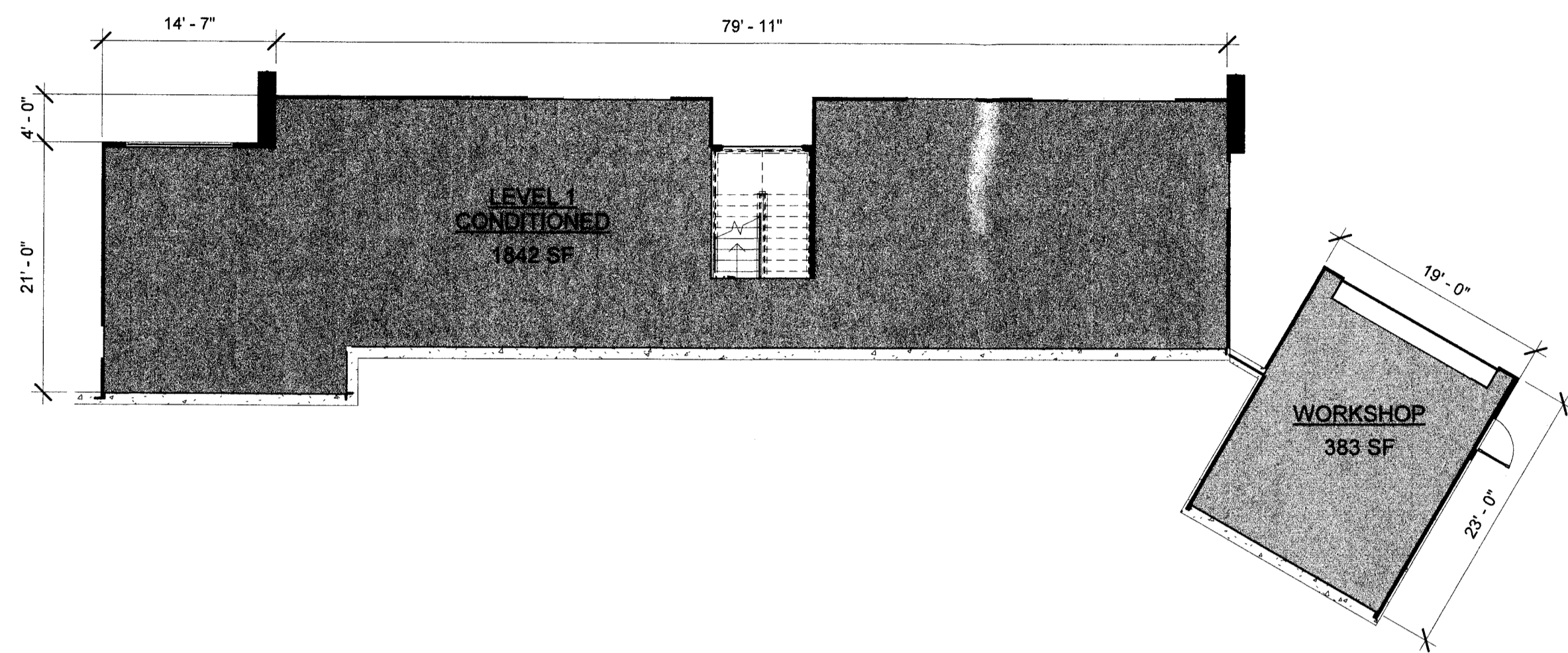
PROJECT NAME:
NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE

PROJECT SCOPE:
(N) TWO STORY SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

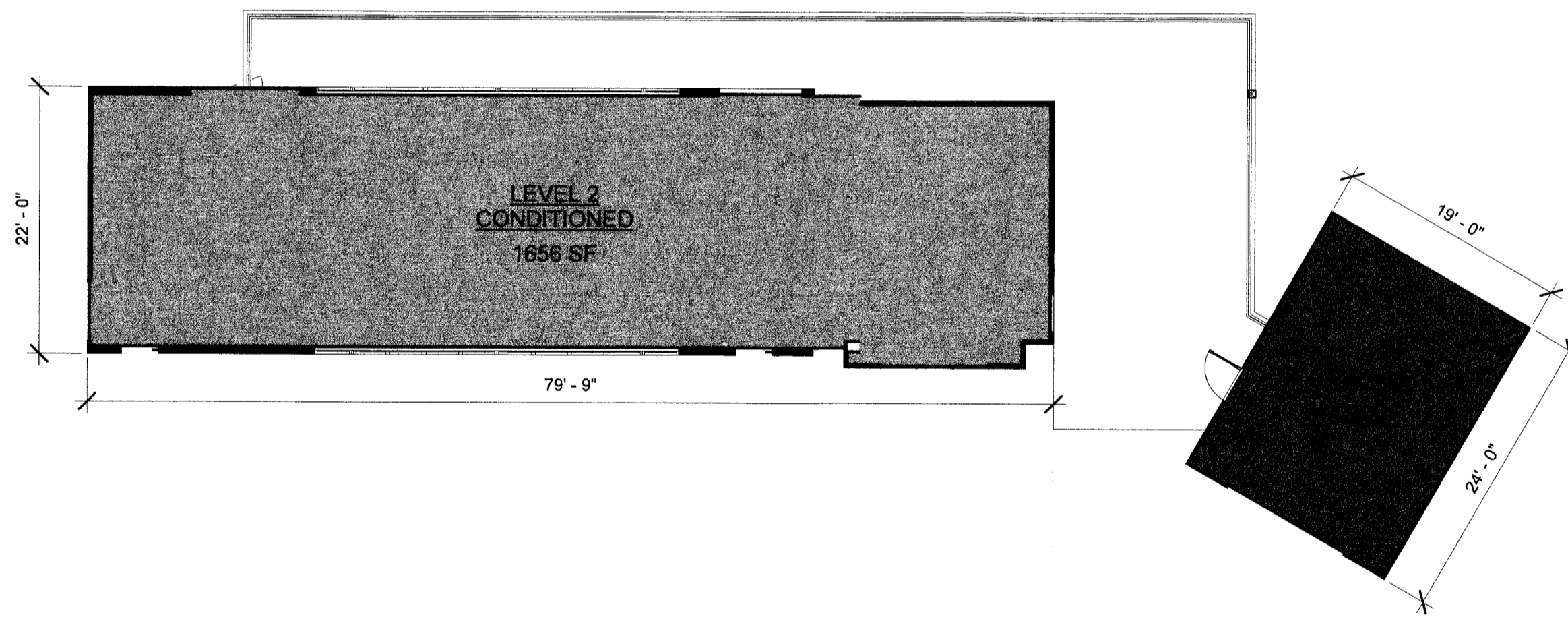
PROJECT ADDRESS:
1237 GRANT ROAD
MONTARA, CA 94037

SHEET TITLE
ROOF PLAN

SHEET
A2.3



① LEVEL 1 AREA PLAN
3/32" = 1'-0"



② LEVEL 2 AREA PLAN
3/32" = 1'-0"

AREA SCHEDULE	
Name	Area
LEVEL 2 CONDITIONED	1656 SF
LEVEL 1 CONDITIONED	1842 SF
WORKSHOP	383 SF
GARAGE	433 SF

Trend

REV	DATE	DESCRIPTION
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5	08/20/2019	3RD PLANNING RESUBMITTAL

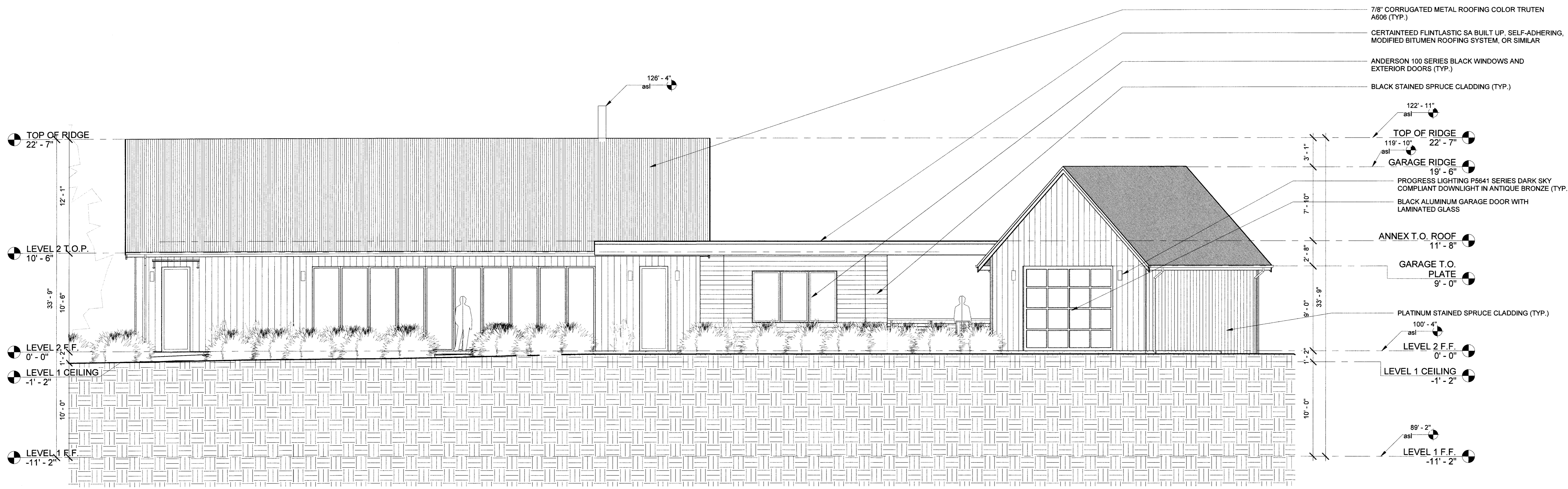
PROJECT SCOPE:
(N) TWO STORY SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

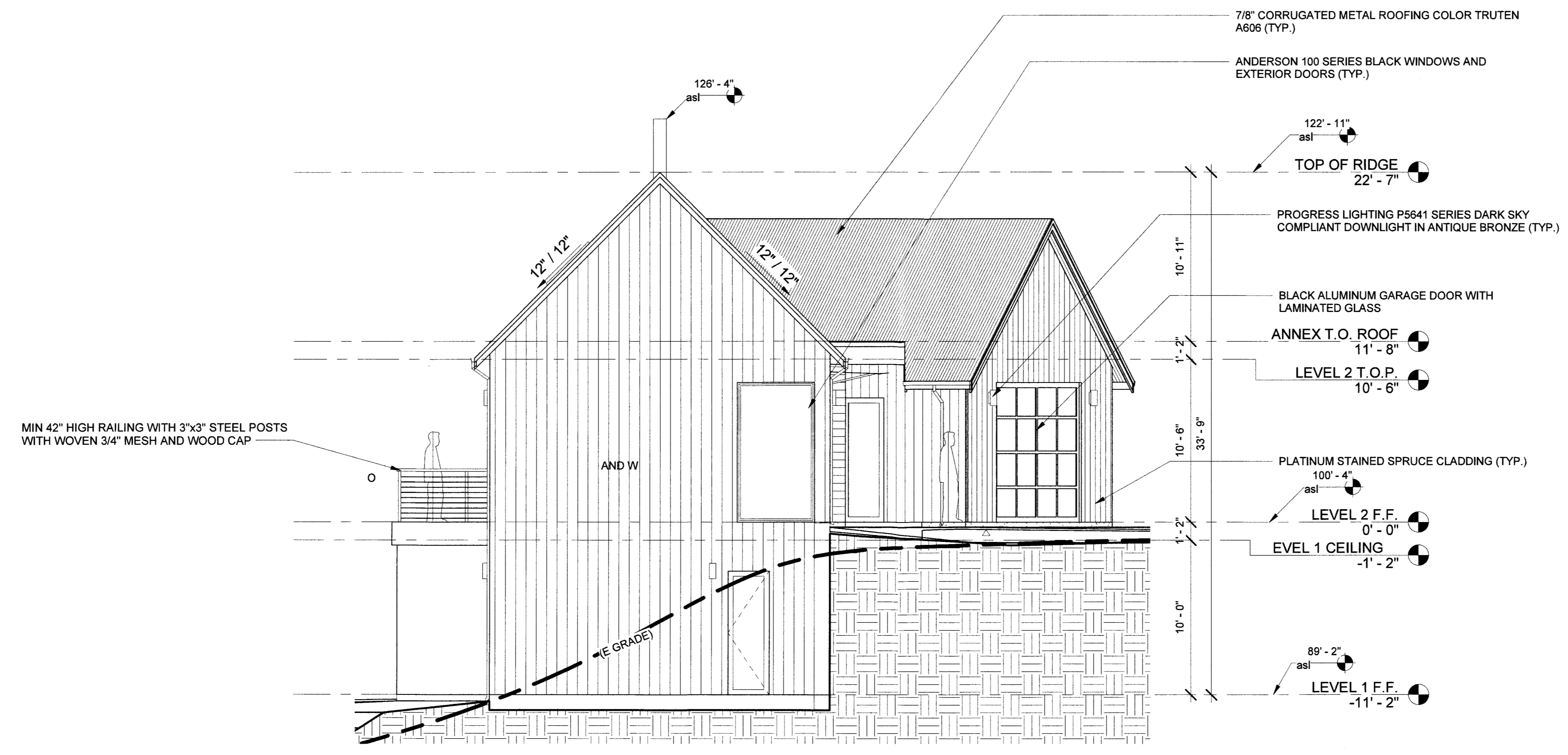
PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

SHEET TITLE
**FLOOR AREA
CALCULATIONS**

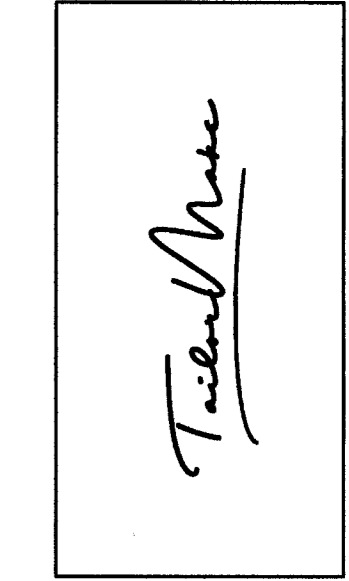
SHEET
A2.4



1 FRONT (EAST) ELEVATION
3/16" = 1'-0"



2 LEFT (SOUTH) ELEVATION
3/16" = 1'-0"



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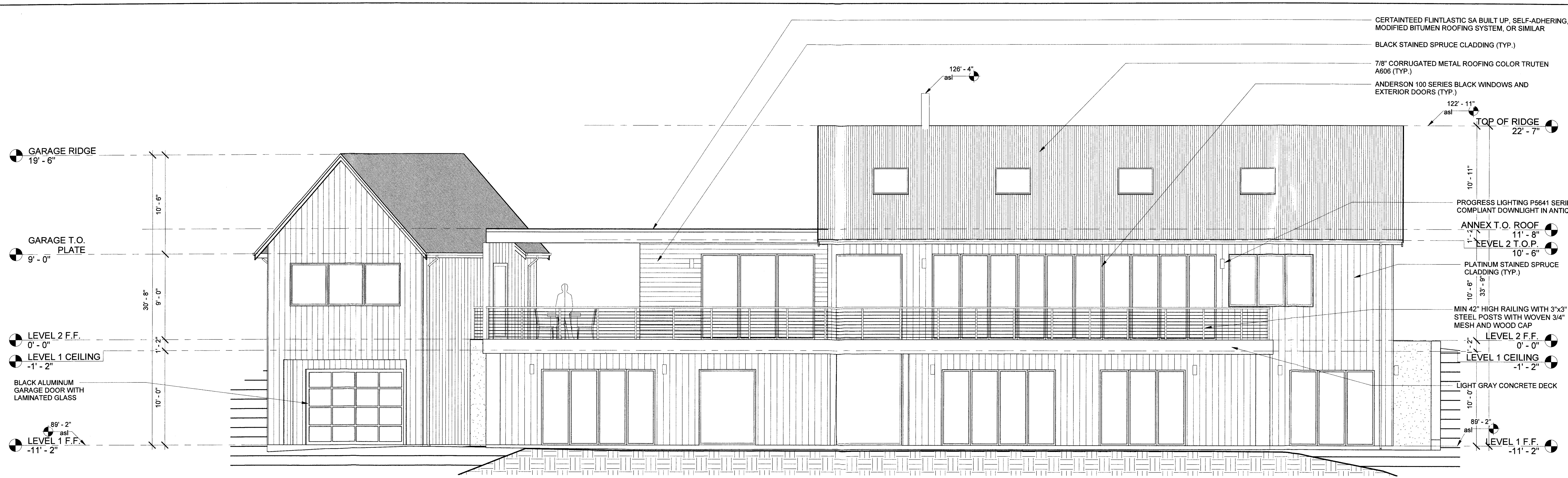
PROJECT SCOPE:
(N) TWO STORY, SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

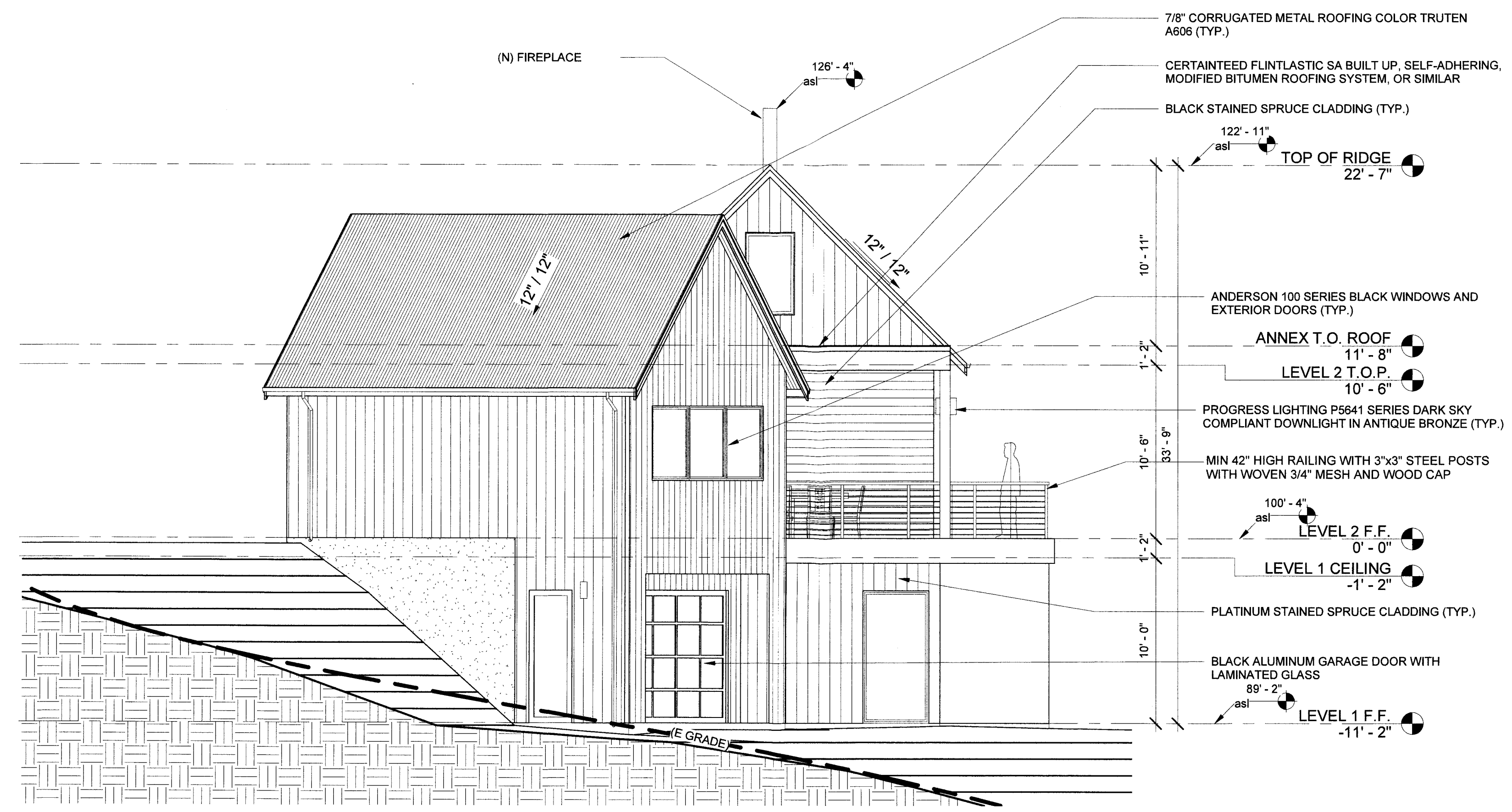
PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

SHEET TITLE
**FRONT AND LEFT
ELEVATIONS**

SHEET
A3.1



1 REAR (WEST) ELEVATION
3/16" = 1'-0"



2 RIGHT (NORTH) ELEVATION
3/16" = 1'-0"

- CERTAINTEE FLINTLASTIC SA BUILT UP, SELF-ADHERING, MODIFIED BITUMEN ROOFING SYSTEM, OR SIMILAR
- BLACK STAINED SPRUCE CLADDING (TYP.)
- 7/8" CORRUGATED METAL ROOFING COLOR TRUTEN A606 (TYP.)
- ANDERSON 100 SERIES BLACK WINDOWS AND EXTERIOR DOORS (TYP.)

T. McWhorter

REV	DATE	DESCRIPTION
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4	03/07/2019	2ND PLANNING RESUBMITTAL
5	06/20/2019	3RD PLANNING RESUBMITTAL

PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

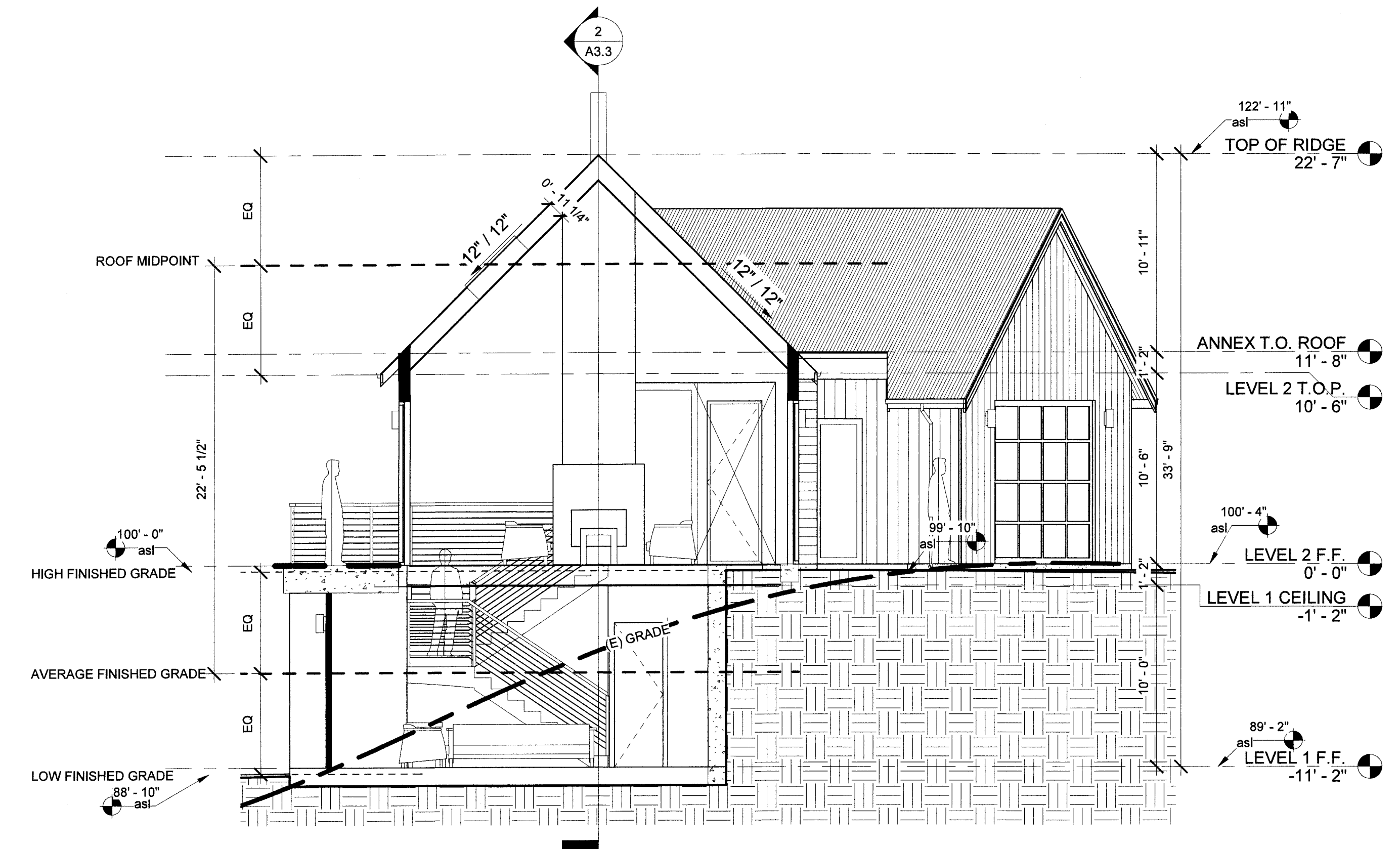
PROJECT SCOPE:
(N) TWO STORY, SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

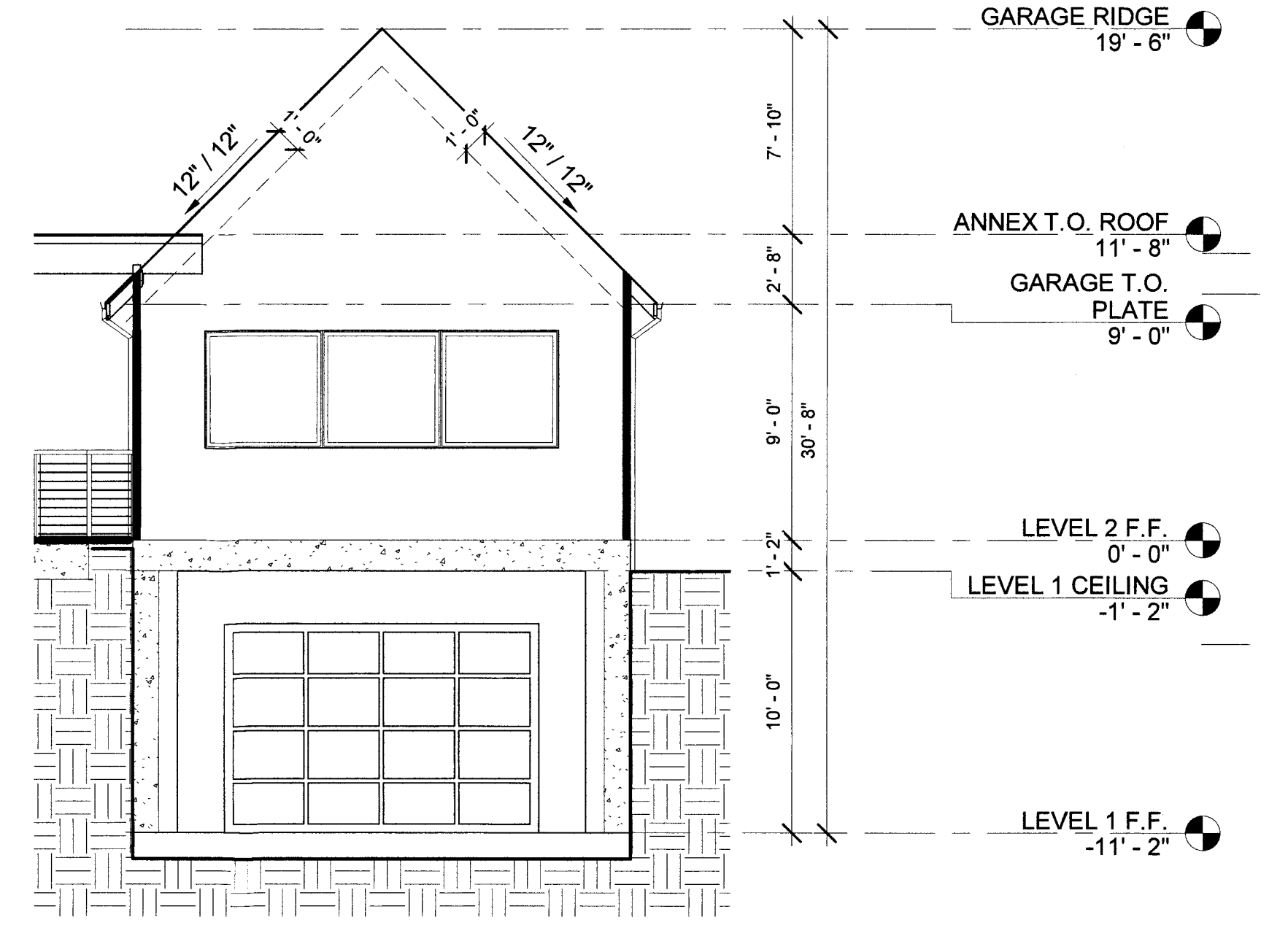
SHEET TITLE
REAR AND RIGHT ELEVATIONS

SHEET
A3.2

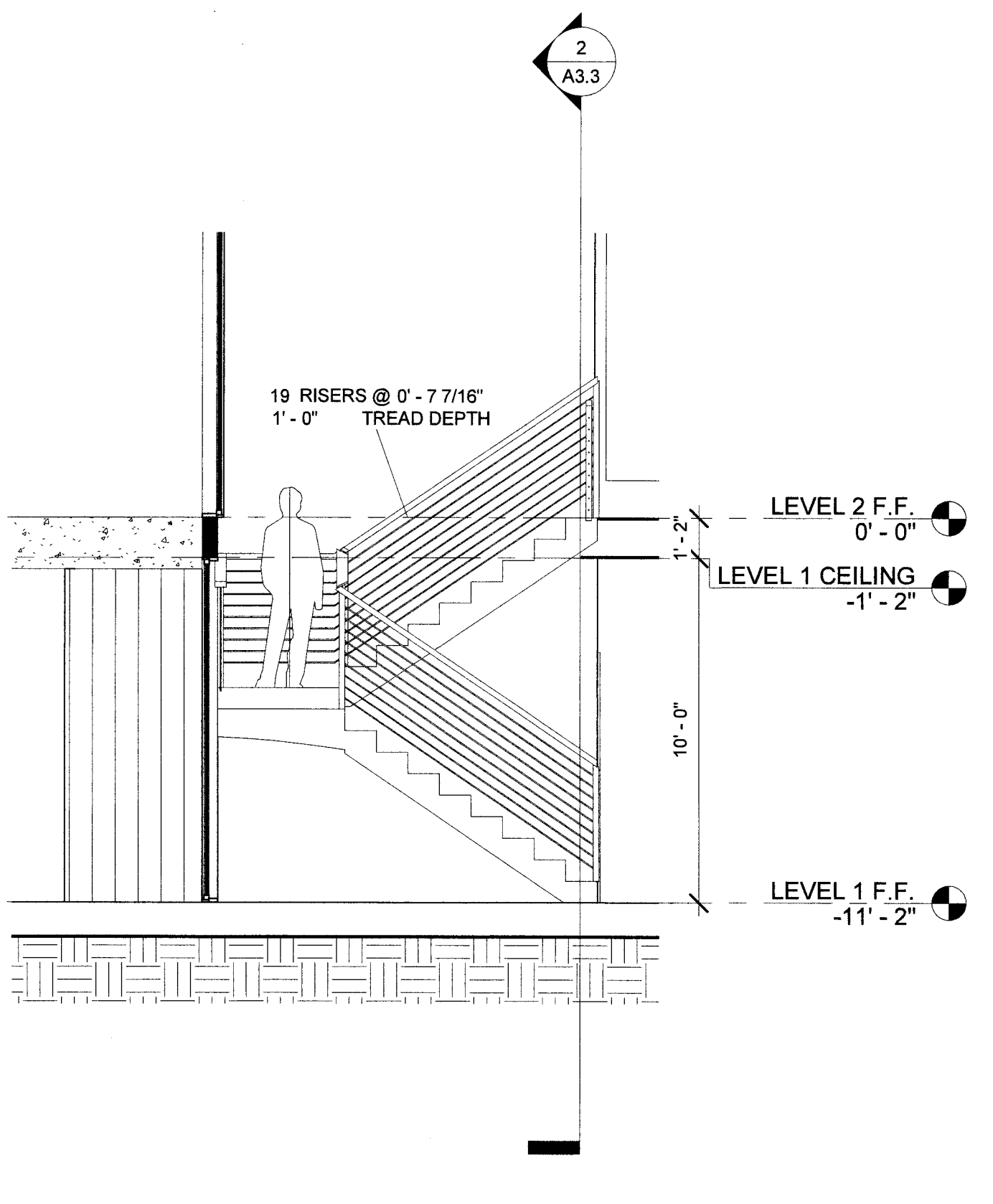
Trendline



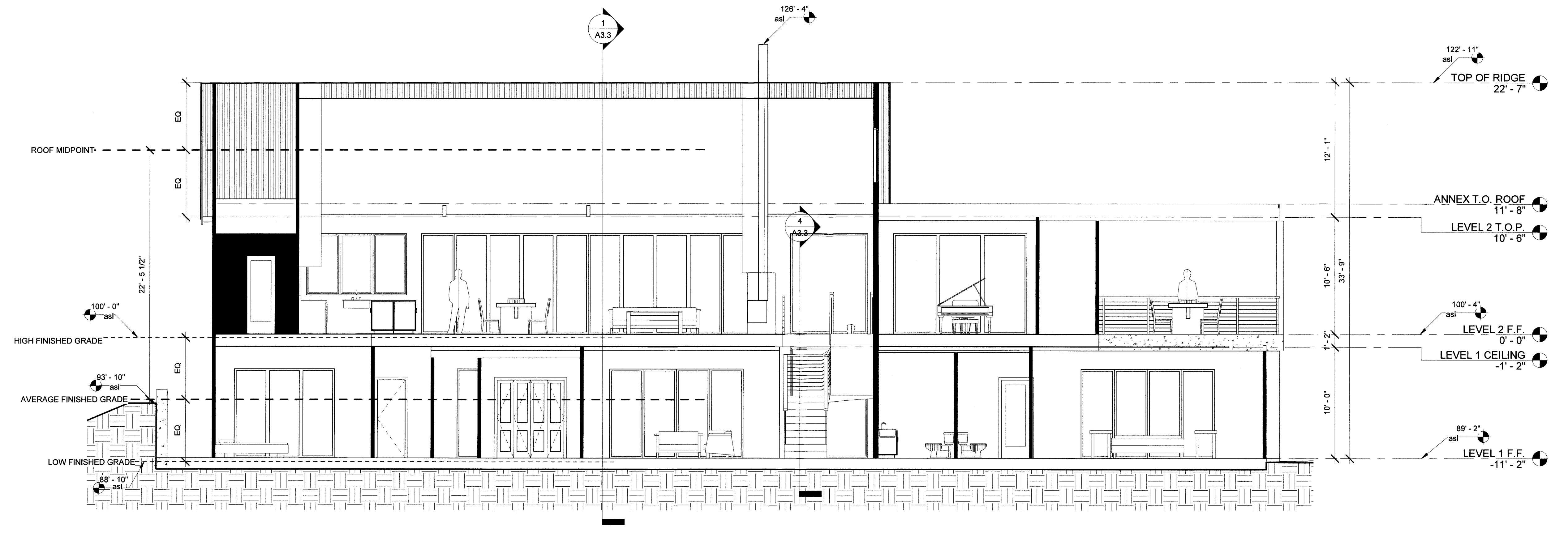
1 HOUSE TRANSVERSE SECTION
3/16" = 1'-0"



3 GARAGE SECTION
3/16" = 1'-0"



4 STAIR SECTION
1/4" = 1'-0"



2 HOUSE LONGITUDINAL SECTION
3/16" = 1'-0"

REV	DATE	DESCRIPTION
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PROJECT SCOPE:
(N) TWO STORY, SINGLE FAMILY HOME WITH (N) ATTACHED GARAGE

PROJECT NAME:
**NEW SINGLE FAMILY HOME
MCWHERTER RESIDENCE**

PROJECT ADDRESS:
**1237 GRANT ROAD
MONTARA, CA 94037**

SHEET TITLE
**BUILDING
SECTIONS**

SHEET
A3.3