

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: March 15, 2018

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Use Permit Renewal, pursuant to Section 6500 of the San Mateo County Zoning Regulations, to allow the continued operation of a cellular communications facility at 1391 Woodside Road, in the unincorporated Redwood City area of San Mateo County.

County File Number: PLN 2017-00522 (Marken Telecom Services)

PROPOSAL

The applicant is applying for a renewal of their Use Permit in order to allow continued operation of a cellular facility at 1391 Woodside Road. No changes in the nature of the use are being requested at this time. This Use Permit was originally approved in 1996, and renewed in 2001 and 2007. In 2007, the term of the Use Permit was changed to a 10-year cycle, consistent with the County's Wireless Telecommunications Ordinance. This Use Permit (previously identified as PLN 2001-00250) was assigned a new 2017 planning case number for administrative purposes.

RECOMMENDATION

That the Zoning Hearing Officer approve the Use Permit Renewal, County File Number PLN 2017-00522, (formerly PLN 2001-00250 and USE 96-0033), subject to the findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Helen Gannon, Project Planner, Telephone 650/363-1882

Applicant: Marken Telecom Services

Owner: Nazareth Square LLC

Location: 1391 Woodside Road, Redwood City

APN: 069-311-370

Existing Zoning: C-1/S-3 (Neighborhood Commercial/1,250 sq. ft. minimum lot area per dwelling unit)

General Plan Designation: Neighborhood Commercial Urban

Sphere-of-Influence: Redwood City

Existing Land use: Commercial Building

Flood Zone: Zone C (Area of minimal flooding), Community Panel No. 060311-0250B

Environmental Evaluation: Categorically exempt under Section 15301 of the California Environmental Quality Act Guidelines (CEQA) – continued operation of an existing facility.

Setting: The site consists of a two-story commercial building at the intersection of Woodside Road and San Carlos Avenue. Adjacent land uses are commercial and residential in nature. The cellular equipment itself comprises a 12-foot tall cellular transmission tower with six 5-foot tall panel antennas attached to it. The monopole is located approximately in the center of the building's roof, behind a 3-foot high parapet. The antennas and pole are painted gray and roughly match the color of the building they are located on. The equipment cabinets are located within the building and are not visible from any point surrounding the building.

DISCUSSION

A. KEY ISSUES

1. Compliance with Conditions of the Last Approval

Below is a summation of the Use Permit's 2007 conditions of approval. Those conditions, which required action on the part of the applicant or another party, are outlined below.

- a. **This Use Permit shall be for the existing telecommunications facility as initially approved on September 19, 1996. Minor Revisions shall be subject to the review and approval of the Community Development Director. Any modifications or expansions to the existing use will require an application and issuance of a Use Permit Amendment.**

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes.

- b. **This Use Permit shall be valid for a period of ten (10) years, terminating on May 17, 2017. The applicant shall apply for a Use Permit Renewal with the San Mateo County Planning and Building Department six months prior to expiration.**

Compliance with Condition? The application for renewal was received on December 14, 2017, so this condition was not met. However, it is the Departments policy to accept late applications for renewal for existing uses/facilities that operate without complaints or violations.

Recommend to Retain Condition? Yes. But modified to read:

This Use Permit shall be valid for a period of ten (10) years, terminating on March 15, 2028. The applicant shall apply for a Use Permit Renewal with the San Mateo County Planning and Building Department six months prior to expiration.

- c. **The applicant shall maintain the monopole and antennas their original color. When the monopole and antennas need to be repainted they shall be repainted a cool gray or mottled gray/white color to blend with the sky.**

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes. Presumably the pole and antennas will need to be repainted during the course of their life. If or when that should occur, the applicant shall repaint them the same color.

- d. **Maintenance for the roof monopole shall only be performed between 9:00 a.m. and 5:00 p.m.**

Compliance with Condition? Yes. Staff has received no information to the contrary.

Recommend to Retain Condition? Yes. Since the project site abuts a residential neighborhood, maintaining this condition assists in maintaining public health, safety, convenience, and welfare.

- e. **The applicant shall file a copy of the current FCC Form #463, mobile radio authorization, with the County Planning Department. The applicant shall be required to keep a current copy of this form on file with the Planning Department throughout the life of this use.**

Compliance with Condition? Yes. The form is currently on file with the County Planning Department.

Recommend to Retain Condition? Yes, with modification. In order to ensure conformance with FCC guidelines a current copy of FCC Form #601 is required.

- f. **If the applicant ceases operations of this facility for any reason, this facility shall be removed in its entirety.**

Compliance with Condition? The applicant continues to operate the cellular facility as approved and thus compliance with this condition is not necessary at this time.

Recommend to Retain Condition? Yes. If in the future the applicant ceases to operate the cellular facility it is in the best interest of the community to have the facility removed.

2. Compliance with Use Permit Regulations

In order to approve a renewal of this Use Permit, the Zoning Hearing Officer must make the following findings:

- a. **That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

This use has been in operation since 1996, with no reported complaints from residents of the area. The antennas have been clustered near the center of the roof and painted a color to match the sky to reduce their visual impact. In addition, the electromagnetic energy levels emitted by these types of installations, as permitted by the State Public Utilities Commission and the Federal Communications Commission, are not deemed significant. Thus, the continued use of the site as a cellular facility is not detrimental to the public welfare or injurious to property or improvements in the neighborhood.

- b. **That the renewal of the Use Permit for this cellular telecommunications facility is necessary for the public health, safety, convenience, or welfare.**

The renewal of this Use Permit will allow for continued cellular communications for private citizens and public agencies, especially in times of emergencies. There is no evidence to suggest that the

operation of this facility has caused a detriment to the public health or safety since its establishment.

B. ENVIRONMENTAL REVIEW

The project qualifies for a categorical exemption under Section 15301 of the California Environmental Quality Act Guidelines (CEQA) – continued operation of an existing facility.

C. REVIEWING AGENCIES

Building Inspection Section
Menlo Park Fire Protection District

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. 2007 Approval Letter
- C. Location Map
- D. Site Plan
- E. Elevations

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2017-00522

Hearing Date: March 15, 2018

Prepared By: Helen Gannon
Project Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That this project is exempt from CEQA, under Section 15301 of the CEQA Guidelines, regarding the continued operation of an existing facility.

Regarding the Use Permit, Find:

2. That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood. The antennas are minimally visible from the surrounding streets. The antenna's grayish/white color and central location on the roof further lessen their visual impact as they blend in with the skyline. In addition, the electromagnetic energy levels emitted by these types of installations, as permitted by the State Public Utilities Commission and the Federal Communications Commission, are not deemed significant.
3. That the renewal of the Use Permit for this cellular telecommunications facility is necessary for the public health, safety, convenience, or welfare as it will continue to provide cellular communications services for members of the community as well as public agencies. Availability of these types of services is vital especially in emergency situations.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This Use Permit shall be for the existing telecommunications facility as initially approved on September 19, 1996. Minor revisions shall be subject to the review and approval of the Community Development Director. Any significant

modifications or expansions to the existing use will require an application and issuance of a use permit amendment.

2. This Use Permit shall be valid for a period of ten (10) years, terminating on March 15, 2028. The applicant shall apply for a Use Permit Renewal with the San Mateo County Planning and Building Department six months prior to expiration.
3. The applicant shall maintain the monopole and antennas their original color. When the monopole and antennas need to be repainted they shall be repainted a cool gray or mottled gray/white color to blend with the sky.
4. Maintenance for the roof monopole shall only be performed between 9:00 a.m. and 5:00 p.m.
5. The applicant shall file a copy of the current FCC Form #601, mobile radio authorization, with the County Planning Department. The applicant shall be required to keep a current copy of this form on file with the Planning Department throughout the life of this use.
6. If the applicant ceases operations of this facility for any reason, this facility shall be removed in its entirety.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: May 17, 2007

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Use Permit Renewal, pursuant to Section 6500 of the San Mateo County Zoning Regulations, to allow the continued operation of a cellular communications facility at 1391 Woodside Road, in the unincorporated Redwood City area of San Mateo County.

County File Number: PLN 2001-00250 (Sprint PCS)

PROPOSAL

The applicant is applying for a renewal of their Use Permit in order to continue to operate a cellular facility at 1391 Woodside Road. No changes in the nature of the use are being requested at this time.

RECOMMENDATION

That the Zoning Hearing Officer approve the Use Permit Renewal, County File Number PLN 2001-00250, (formerly USE 96-0033), subject to the findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared by: Angela Chavez, Project Planner, Telephone 650/599-7217

Applicant/Owner: Sprint PCS/Nazareth Enterprises

Project Location: 1391 Woodside Road, Redwood City

APN: 069-311-370

Zoning: C-1/S-3 (Neighborhood Commercial/1,250 sq. ft. minimum lot area per dwelling unit)

General Plan Designation: Neighborhood Commercial

Flood Zone: Zone C (areas of minimal flooding), Community Panel No. 060311-0250B

Existing Land Use: Commercial Building

Environmental Evaluation: Categorically exempt under Section 15301 of the California Environmental Quality Act Guidelines (CEQA) – continued operation of an existing facility.

Setting: The site consists of a two-story commercial building at the intersection of Woodside Road and San Carlos Avenue. Adjacent land uses are commercial and residential in nature. The cellular equipment itself comprises a 12-foot tall cellular transmission tower with six 5-foot tall panel antennas attached to it. The monopole is located approximately in the center of the building's roof, behind a 3-foot high parapet. The antennas and pole are painted gray and roughly match the color of the building they are located on. The equipment cabinets are located within the building and are not visible from any point surrounding the building.

A. Compliance with Conditions of the Last Approval

Below is a summation of the Use Permit's 2001 conditions of approval. Those conditions, which required action on the part of the applicant or another party, are outlined below.

- 1. This Use Permit shall be for the existing telecommunications facility as approved on October 18, 2001. Minor Revisions shall be subject to the review and approval of the Community Development Director. Any modifications or expansions to the existing use will require an application and issuance of a Use Permit Amendment.**

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes.

- 2. This Use Permit shall be valid for a period of five years, terminating on September 19, 2006. The applicant shall file for a Use Permit Renewal six months prior to expiration with the County Planning Department, if continuation of this use is desired.**

Compliance with Condition? No. Application for renewal was received on November 20, 2006.

Recommend to Retain Condition? Yes, with modification for a ten (10) year term. The new expiration for this permit should now be May 17, 2017.

- 3. The monopole and antennas shall be painted a cool gray or mottled gray/white color to blend with the sky.**

Compliance with Condition? Yes. The pole and antennas have been painted a grayish/white, which has been effective in blending these structures into the sky.

Recommend to Retain Condition? Yes. Presumably the pole and antennas will need to be repainted during the course of their life. If or when that should occur, the applicant shall repaint them the same color.

4. **Maintenance for the roof monopole shall only be performed between 9:00 a.m. and 5:00 p.m.**

Compliance with Condition? Yes. Staff has received no information to the contrary.

Recommend to Retain Condition? Yes. Since the project site abuts a residential neighborhood, maintaining this condition assists in maintaining public health, safety, convenience, and welfare.

5. **The applicant shall file a copy of the current FCC Form #463, mobile radio authorization, with the County Planning Department, throughout the life of this use.**

Compliance with Condition? Yes. The form is currently on file with the County Planning Department.

Recommend to Retain Condition? Yes, with modification. In order to ensure conformance with FCC guidelines a current copy of FCC Form #601 is required.

6. **If the applicant ceases operations of this facility for any reason, this facility shall be removed in its entirety.**

Compliance with Condition? The applicant continues to operate the cellular facility as approved and thus compliance with this condition is not necessary at this time.

Recommend to Retain Condition? Yes. If in the future the applicant ceases to operate the cellular facility it is in the best interest of the community to have the facility removed.

B. Compliance with Use Permit Regulations

In order to approve a renewal of this Use Permit, the Zoning Hearing Officer must make the following findings:

1. **That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

This use has been in operation since 1996, with no reported complaints from residents of the area. The antennas have been clustered near the center of the roof and painted a color to match the sky to reduce their visual impact. In addition, the electromagnetic energy levels emitted by these types of installations, as permitted by the State

Public Utilities Commission and the Federal Communications Commission, are not deemed significant. Thus, the continued use of the site as a cellular facility is not detrimental to the public welfare or injurious to property or improvements in the neighborhood.

2. That the renewal of the Use Permit for this cellular telecommunications facility is necessary for the public health, safety, convenience, or welfare.

The renewal of this Use Permit will allow for continued cellular communications for private citizens and public agencies, especially in times of emergencies. There is no evidence to suggest that the operation of this facility has caused a detriment to the public health or safety since its establishment.

C. Environmental Evaluation

The project qualifies for a categorical exemption under Section 15301 of the California Environmental Quality Act Guidelines (CEQA) – continued operation of an existing facility.

D. Agency Input

| | Renew | Conditions | Deny |
|-----------------------------|--------------|-------------------|-------------|
| Building Inspection Section | X | None | |
| City of Redwood City | X | None | |

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. 1996 Letter of Decision
- C. 2001 Approval Letter
- D. Location Map
- E. Site Plan
- F. Elevations

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2001-00250

Hearing Date: May 17, 2007

Prepared By: Angela Chavez, Project Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That this project is exempt from CEQA, under Section 15301 of the CEQA Guidelines, regarding the continued operation of an existing facility.

Regarding the Use Permit, Find:

2. That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood. The antennas are minimally visible from the surrounding streets. The antenna's grayish/white color and central location on the roof further lessen their visual impact as they blend in with the skyline. In addition, the electromagnetic energy levels emitted by these types of installations, as permitted by the State Public Utilities Commission and the Federal Communications Commission, are not deemed significant.
3. That the renewal of the Use Permit for this cellular telecommunications facility is necessary for the public health, safety, convenience, or welfare as it will continue to provide cellular communications services for members of the community as well as public agencies. Availability of these types of services is vital especially in emergency situations.

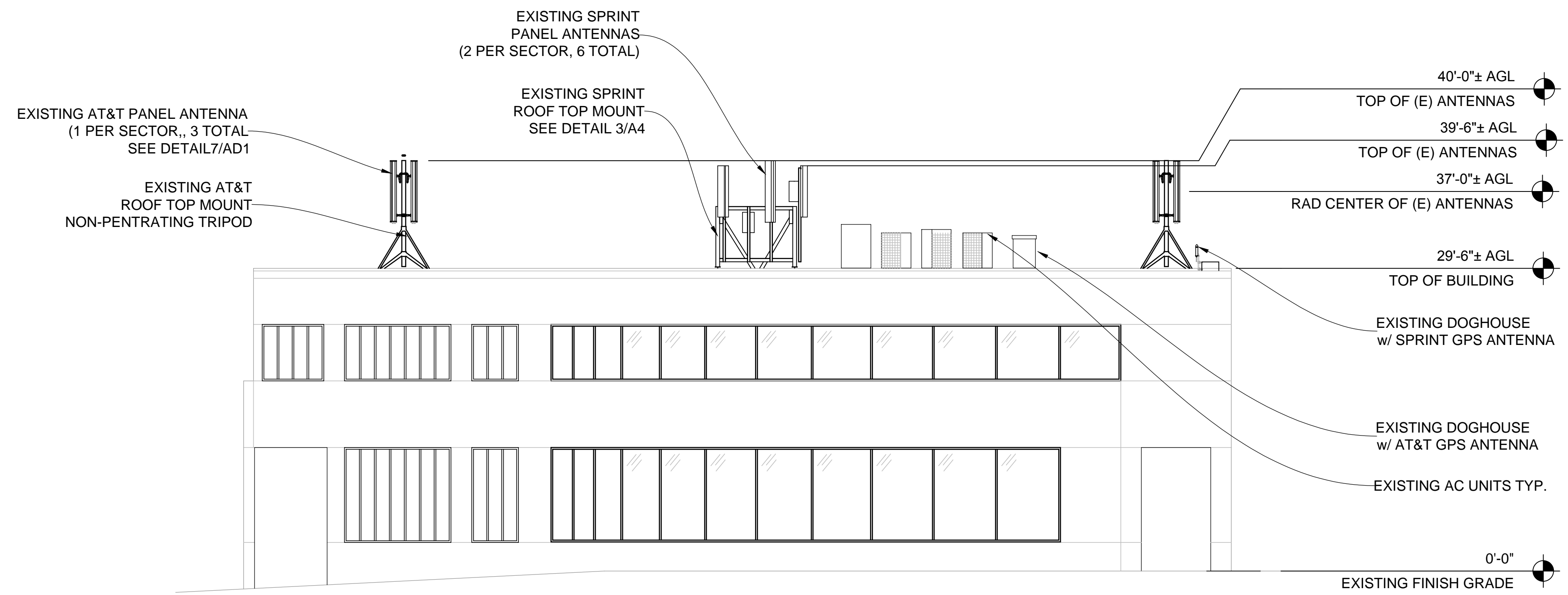
RECOMMENDED CONDITIONS OF APPROVAL

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2. This Use Permit shall be valid for a period of ten (10) years, terminating on May 17, 2017. The applicant shall apply for a Use Permit Renewal with the San Mateo County Planning and Building Department six months prior to expiration.

3. The applicant shall maintain the monopole and antennas their original color. When the monopole and antennas need to be repainted they shall be repainted a cool gray or mottled gray/white color to blend with the sky.
4. Maintenance for the roof monopole shall only be performed between 9:00 a.m. and 5:00 p.m.
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6. If the applicant ceases operations of this facility for any reason, this facility shall be removed in its entirety.

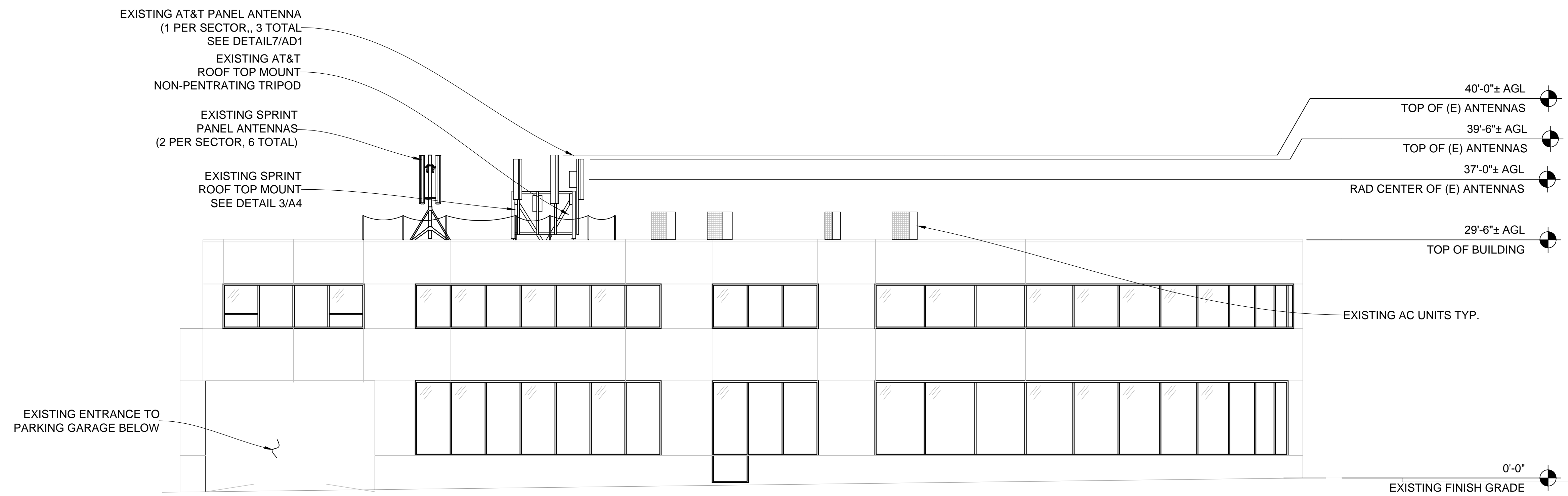
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1 SOUTH WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 NORTH WEST ELEVATION

SCALE: 1/8" = 1'-0"

DES
DIAMOND ENGINEERING SERVICES
4255 PARK RD.
BENICIA, CA 94510
TEL: 707-304-3351

CROWN CASTLE
sprint



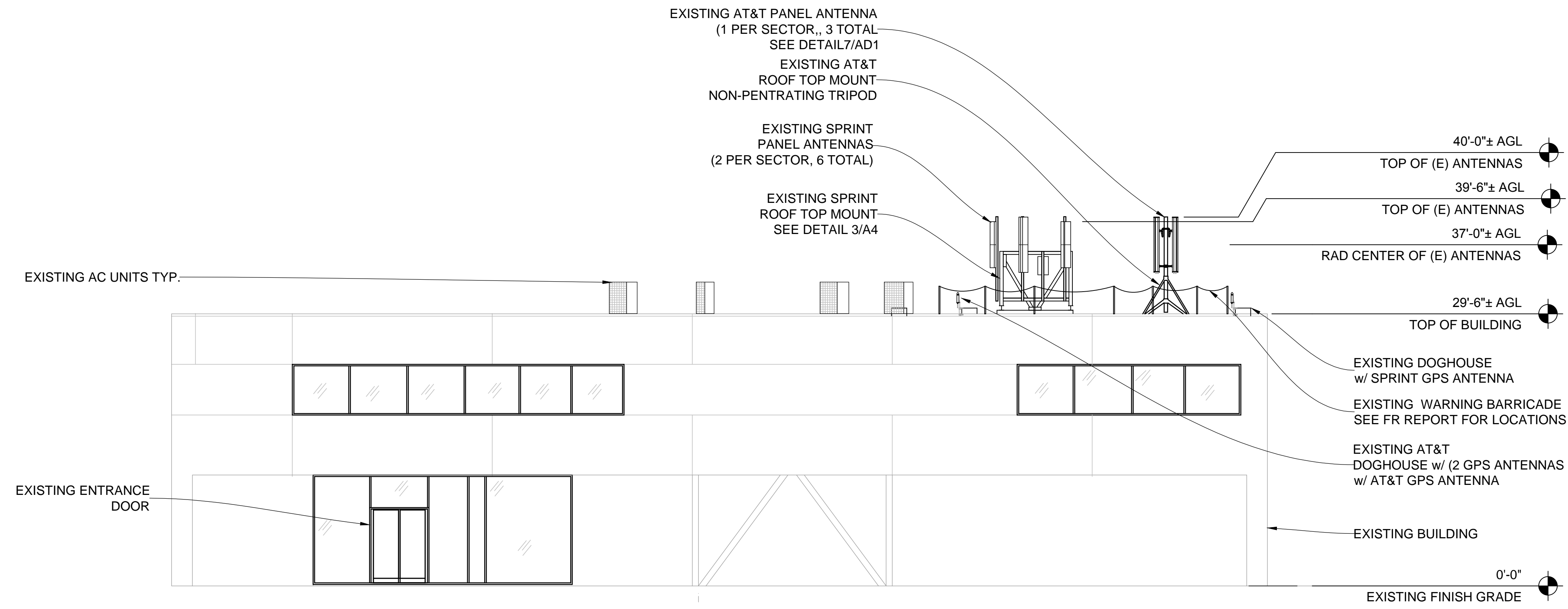
CROWN CASTLE # 852132
SPRINT # FS04XC091-A
WEST COAST VIDEO BUILDING
1391 WOODSIDE ROAD
REDWOOD CITY, CA 94061

**SOUTH WEST AND
NORTH WEST ELEVATIONS**

| REVISIONS | |
|------------|-------------|
| DATE | DESCRIPTION |
| 10-18-2017 | FOR REVIEW |
| No. | |

Job No.: G17018
Draw/Check By: RGT/ BLL

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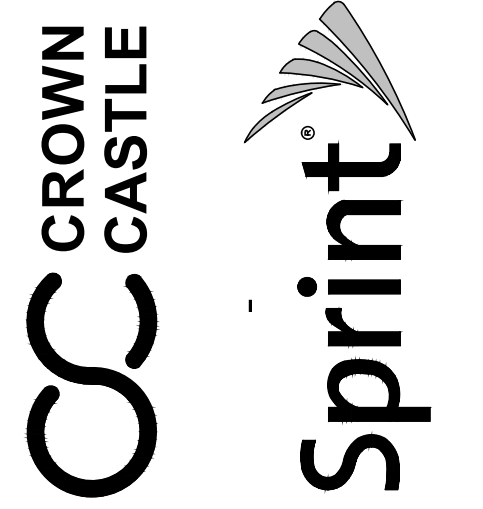


1 SOUTH EAST ELEVATION

SCALE: 1/8" = 1'-0"



DIAMOND ENGINEERING SERVICES
4255 PARK RD.
BENICIA, CA 94510
TEL: 707-304-3351



CROWN CASTLE # 852132
SPRINT # FS04XC091-A
WEST COAST VIDEO BUILDING
1391 WOODSIDE ROAD
REDWOOD CITY, CA 94061

SOUTH EAST ELEVATION

| REVISIONS | | DATE |
|-----------|-------------|------------|
| No. | DESCRIPTION | |
| 1 | FOR REVIEW | 10-18-2017 |
| | | |
| | | |
| | | |

Job No.: G17018 Draw/Check By: RGT/ BLL

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