

East Street Residence

1900 East Street, Montara, CA 94037
APN:037-015-090



Architect
Wilkins Studio Architects
Contract: Karen Wilkins, AIA
785 Quintana Rd # 180
Morro Bay, CA 93442
(415) 273-9054

Owner:

East Street Residence
1900 East Street, Montara, CA 94037
APN: 037-015-090

No.	Description	Date
	Progress Set	07/28/2023

Cover
G1-0
Scale: As Noted
Sheet size: Arch D

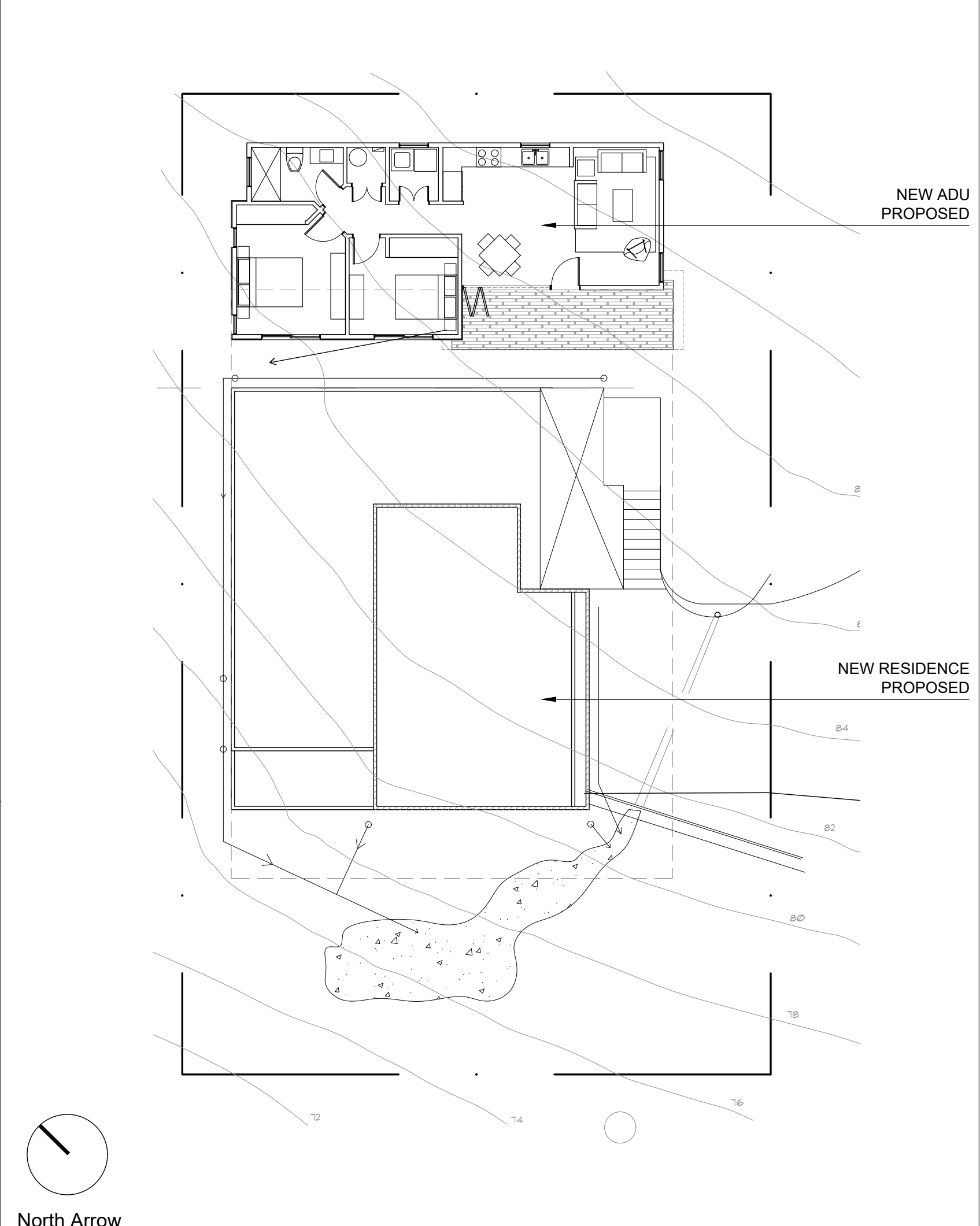
ABBREVIATIONS

A	Air Conditioning	O	Board
A.C.	Accessory Dwelling Unit	O.C.	On Center
A.F.F.	Above Floor Finish	OPNG.	Opening
ALT.	Alternate	ORIG.	Original
AMT.	Amount	OZ.	Ounce
APPROX.	Approximate	P	Perpendicular
AVG.	Average	PERP.	Perpendicular
B	Board	PL.	Plate
BD.	Board	P.LAM.	Plastic Laminate
BTWN.	Between	PLY. WD.	Plywood
BLDG.	Building	PR.	Pail
BLW/BLKG.	Block/Blocking	PROJ.	Project
C	Cubic Feet Per Minute	P.S.F.	Pounds Per Square Foot
C.F.M.	Change	P.S.I.	Pounds Per Square Inch
C.H.	Cast Iron	P.W.M.T.	Pressure Treated Dog Fir
C.I.	Clear/Clearance	Q	Quart
CLR.	Centerline	QTY.	Quantity
CLG.	Column	R	Riser
C.M.U.	Concrete Masonry Unit	RAD.	Radius
COL.	Concrete	RD.	Road
CONC.	Construction	REF.	Refrigerator
CONSTR.	Clean Out to Grade	REF.	Reinforcement
C.O.T.G.	Center	REINFR.	Required
CTR.	Cubic Foot	REQ.	Room
CJ. FT.	Cubic Inch	R.O.	Rough Opening
CJ. IN.	Cubic Yard	R.T.S.	Refer to Structural
CJ. YD.		RCHD.	Schedule
D	Double	S.C.	Solid Core
DBL.	Degree	SECT.	Section
DEGT.	Department	SHWR.	Shower
DIAG.	Diagonal	SHT.	Sheet
DIA.	Diameter	SIM.	Similar
DIM.	Dimension	SPEC(S)	Specification(s)
DIV.	Division	SQ. FT.	Square Feet
D.S.	Downspout	SQ.	Square
D.W.	Dunewater/Downspout	S.S.	Stainless Steel
(E)	Existing	ST.	Street
E.A.	Each	STD.	Standard
ELEC.	Electric	STL.	Steel
ELEV.	Elevation/Elevator	STR.	Storage
ENCL.	Enclosure	STRUC.	Structure
EQ.	Equal	SYM.	Symbol
EQUIP.	Equipment	T	Tread
EXIST.	Existing	T.O.C.	Top of Concrete/Curb
EXTER.	Exterior	T.O.B.	Top of Catch Basin
F	Floor Drain	T.F.G.	Telephone
F.D.	Floor Drain	TEMO.	Temperature
F.G.	Finish Grade	T&G	Tongue and Groove
F.H.	Fire Hydrant	THK.	Thick
FIN.	Finish	TOIL.	Toilet
FLR.	Floor	T.O.P.	Top of Pavement
FLUOR.	Fluorescence	T.O.S.	Top of Slab
F.O.C.	Face of Concrete	T.O.W.	Top of Wall
F.O.F.	Face of Finish	TV	Television
F.O.M.	Face of Masonry	TV	Television
F.O.S.	Face of Stud	U	Unfinished
F.O.S.	Finish Surface	UNFIN.	Unfinished
FT.	Foot	UNO.	Unless Noted Otherwise
FTG.	Footing	UR.	Urinal
GA.	Gauge	V	Vent
GAL.	Gallon	V.C.T.	Vinyl Composition Tile
GALV.	Galvanized	VENT.	Ventilate, Ventilating
GYP.	Gypsum	VERT.	Vertical
H	Header	V.T.R.	Vent Thru Roof
H.B.	Hoos Bibb	W	Water Closet
HDR.	Header	WD	Wood
HDRW.	Hardware	WH	Water Heater
HCRZ.	Horizontal	W.I.	Wrought Iron
HP	Horsepower	W.R.B.	Weather Resistant Barrier
HT.	Height	WOM.	Women
I	Inside Diameter	W.P.	Waterproofing
I.D.	Inch	WSCS.	Wainscot
IN.	Information	W	Without
INFO.	Insulation		
INSUL.	Interior		
INT.			
J	Janitor		
JAN.	Joint		
JCT.	Joint		
KT.	Kitchen		
KIT.			
L	Lavatory		
LAV.	Linen Foot		
LB.	Lineal Foot		
LF.	Linear		
LIN.	Light		
LT.	Light Weight		
LT.WT.			
M	Maximum		
MAX.	Machine Bolt		
M.B.	Medicine Cabinet		
M.C.	Mechanical		
MECH.	Medium		
MED.	Mezzanine		
MEZZ.	Manufacturer		
MFR/MFGR.	Minimum		
MINK.	Miscellaneous		
MISC.	Metal		
MTL.			
N	New		
(N)	Natural Grade		
N.G.	Not in Contact		
NI.C.	Not to Scale		
NTS.			
O			

GENERAL NOTES

- EXAMINATION OF SITE:** The contractor shall thoroughly examine the site and satisfy him/herself as to the conditions under which the work is to be performed. The contractor shall verify at the site all the measurements affecting the work and shall be responsible for the correctness of the same. No extra expense shall be allowed to the Contractor for expenses due to his neglect to examine, or failure to discover, conditions which affect the work.
- GENERAL OPERATION:** The Contractor shall, after consulting with the Owner, schedule the work so as not to interfere unduly with the neighbors, etc. Contractor shall allow dust by approved means and minimize noise as much as practical. In no case shall the work interfere with existing streets, drives, walkways, passageways, neighbors' property, improvements and the like. Protect all in-place construction in connection with the work. Particular attention is directed to but not limited to, such items as street improvements, curbs and gutters, rough grading lines, etc.
- CONTRACTOR USE OF THE PREMISES:**
 - Confine operations at the site to areas permitted by law, ordinances, permits, and these Contract Documents. Do not unreasonably encumber premises with materials or equipment.
 - Assume all responsibility for protection and safekeeping of all products stored on the premises. Move any stored products which interfere with the operations of the City or other contractor. Obtain and pay for use of additional storage or work area required for operations.
- LIMITS OF WORK:** Work zone limits are established on the drawings. All Contractors, Subcontractors, and Tradesman shall coordinate their work with one another within the established limits.
- SEQUENCE OF WORK:** In the event any special sequencing of the work is required by the Owner, the Contractor shall arrange a conference before any such work is begun. Contractor shall be responsible and liable for deviations from schedule unless delays are the result of failure of the Owner to abide by the Contractor by acts of nature or God.
- ORDERS:** Place orders for material and equipment immediately on receipt of contract and follow up vigorously to insure adequate and timely supply of work. Perform all tracing and expediting actions and arrange to get workers and subcontractors on job at proper time and avoid delays.
- MEASUREMENTS:** Contractor shall verify all dimensions shown on drawings by taking field measurements; proper fit, and attachment of all parts is required. Before commencing work, check all lines and levels indicated and such other work as has been properly completed. Should there be any discrepancies, immediately report in writing to the Architect for correction or adjustment prior to the commencement of any related work. In the event of the Contractor's failure to do so, the Contractor should be fully and solely responsible for the correction or adjustment of any such related work or errors. All dimensions take precedence over scale. All dimensions are to face of step, unless otherwise noted, THE
- CONTRACTOR SHALL NOT SCALE DRAWINGS.**
- RULES AND REGULATIONS:** All work and materials shall be in accordance with the latest rules and regulations of the National Board of Underwriters, the latest editions of the National Electrical Code, the National Plumbing Code, latest adopted edition of the California Building Code, all State Title 24 AB, 163 energy Regulations, and all applicable Local and State Laws and Ordinances. Nothing on the drawings shall be construed to permit work not conforming to these codes.
- The Contractor shall coordinate with the Building Department for all Building department required inspections.
- The Contractor shall give all notices and/or comply with all codes, laws, ordinances, rules regulations, and orders of any pertinent public authority bearing on the performance of work and shall notify the Architect if the drawings and specifications are at variance therewith.
- Solely as a convenience to the Owner and Contractor, the Architect may include documents prepared by certain consultants and/or vendors (or incorporate the recommendations of said consultants and/or vendors into documents prepared by the Architect) within the set documents issued by the architect. It is expressly understood that by such issuance, the Architect assumes no liability for the services of said consultants and/or vendors.
- CONSTRUCTION QUALITY:** The Contractor shall complete all work to a degree of skill, efficiency and knowledge which is possessed by those of ordinary skill, competency and standing in the particular trade or business for which the Contractor employed in the community. The Construction documents are provided to illustrate the design and general type of construction, material and work commensurate with this type of project throughout.
- COMPLETE PROJECT:** The Contract Documents, including working drawings, specifications and schedules, represent the finished structure. Unless otherwise noted, they do not indicate method of construction. Contractor shall supervise and direct work and shall be solely responsible for all construction means, methods, techniques, sequences, and procedures. Observation visits by the Architect shall not include inspections of protective measure or the construction procedures required for same, which are not specifically detailed on drawings shall be similar to those shown, or those detail existing in the field as they occur. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETE OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR AT NO EXTRA CHARGE.
- COORDINATION:** The General Contractor and each Subcontractor shall be responsible for verification of all field conditions and dimensions PRIOR to commencement of any work. Contractor shall bring any discrepancies to the Architect's and Owner's attention PRIOR to commencing any work. In the event that work commenced with a failure to notify both the Architect and Owner, the Subcontractor is solely responsible for any and all corrective measures or errors.
- NOTES:** All plans imply the words "the Contractor shall" or "the Contractor shall install".
- COOPERATION:**
 - Contractor and Subcontractors shall coordinate their work with adjacent work and cooperate with other trades so as to facilitate general progress of the work. Each trade shall afford the other trades every reasonable opportunity for installation of their work and storage of their materials.
 - In as much as building completion within the time limit is dependent upon cooperation of those engaged there in. It is required that each contractor lay out / install his work in a time and manner not to delay or interfere with carrying forward other contractor's work.
- CHANGES:** Any proposed changes in the construction should be made to the Architect IN WRITING OR IN DRAWINGS. All changes should be reviewed by the Architect, approved by the Owner, Contractor, Architect and by the Building Official as required.
- Any revision or additional work required by field conditions or local governing authorities shall be brought to the attention of the Architect before proceeding.
- This set of Plans is to be on the Job Site at all times during construction. All work shall be in accordance with the approved plans. NO changes or revisions to the approved plans or specifications shall be permitted unless submitted to and approved by the Building Department. The issuance of a permit shall not prevent the Building Department from requiring the correction of Errors or Omissions from the approved plans and specifications.
- The issuance or granting of a permit or approval of plans, specifications and computations shall not be construed to be a permit for or an approval of, any violations of any of the codes or of any other ordinance of this jurisdiction. Permits presuming to give permission to violate or cancel the provisions of this code, or other ordinances of the jurisdiction, shall not be valid.
- These notes apply to all drawings unless otherwise noted or shown. Features of construction shown are typical and shall apply generally throughout similar conditions. Unless otherwise noted, all closets, recesses, columns, projections or other adjacent areas or work within the scheduled areas shall have finishes as scheduled for the respective spaces in which they occur. All omissions or conflicts between the various elements of the working drawings and/or notes shall be brought to the attention of the Architect prior to proceeding with the work involved.
- OWNERSHIP AND USE OF DOCUMENTS:** All drawings, specifications, and their content, and copies, thereof, furnished by Karen Wilkins and shall remain the property of Karen Wilkins.
- Anyone supplying labor and/or materials to the project shall carefully examine all sub-surfaces to receive work. Any conditions detrimental to the work shall be reported in writing

Allowable Height Diagram



Project Data

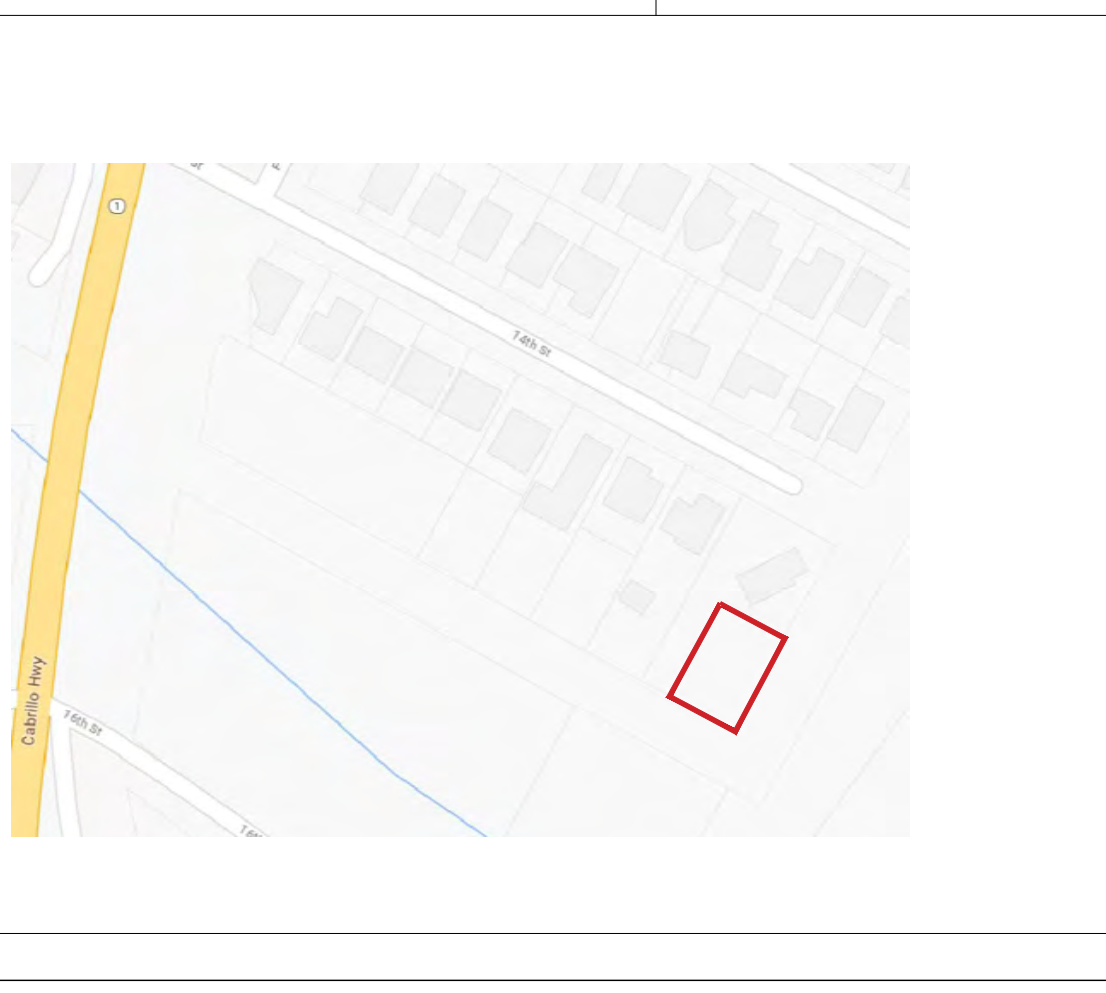
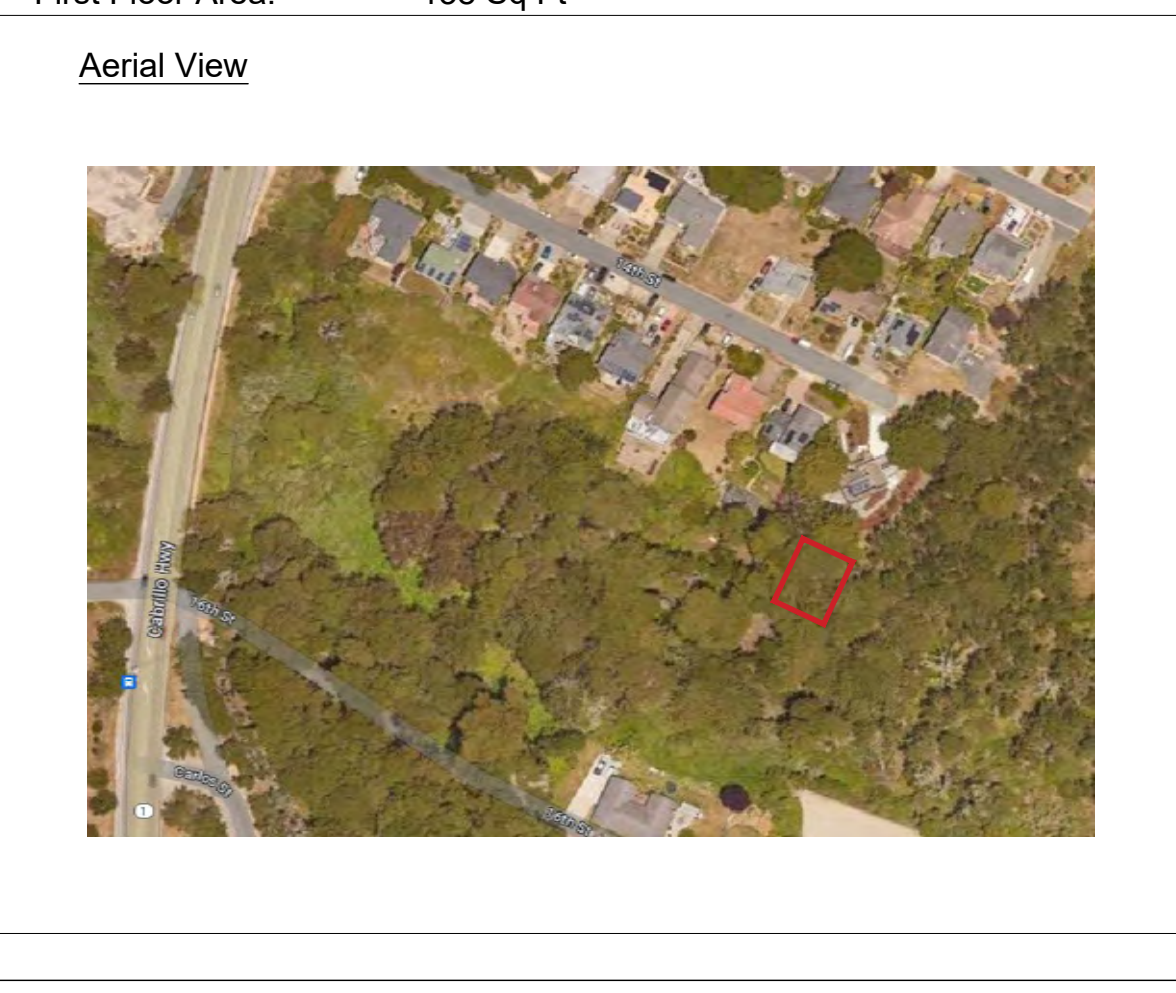
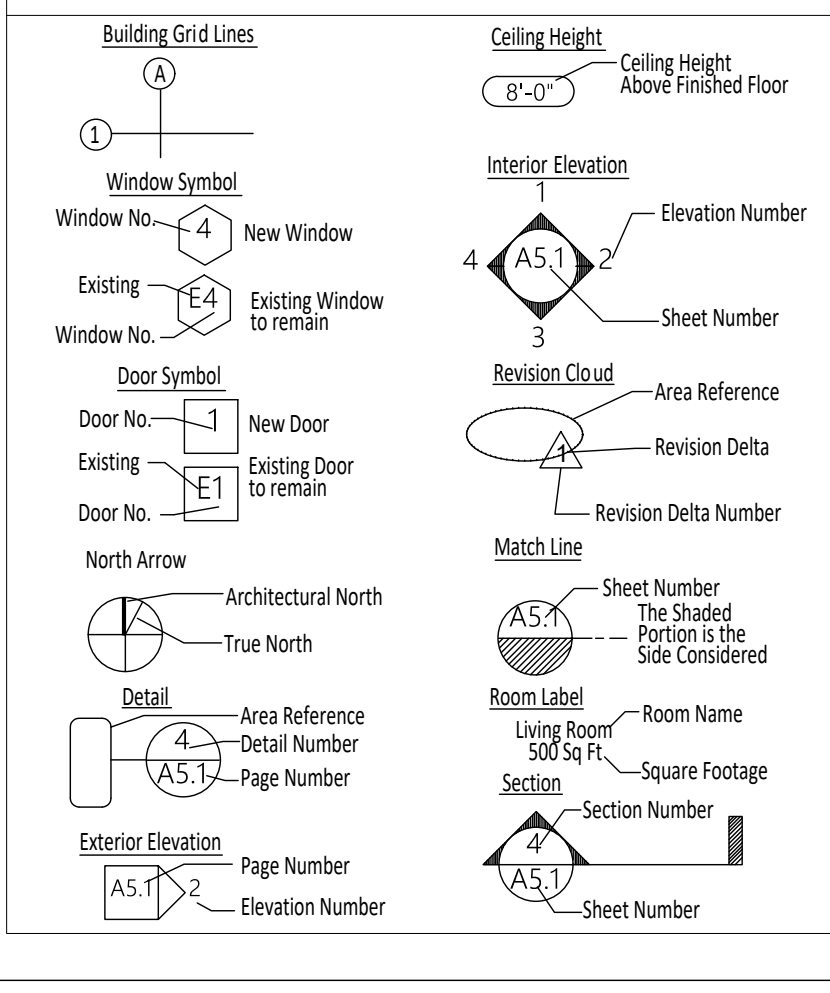
Project Description:	New 2,653.25 Sq Ft Residence with New 772 Sq Ft ADU	Garage Area:	487 Sq Ft
Project Address:	East Street Residence, Montara CA 94037	Second Floor Area:	1,361.52 Sq Ft
Assessor's P. Number:	037-015-090	Balcony 2nd Floor:	227.18 Sq Ft
Occupancy Group:		Third Floor Area:	1,153.73 Sq Ft
Construction Type:		Residence Total Area:	2,653.25 Sq Ft
Area Lot:	6000.00 Sq Ft	ADU Area:	772 Sq Ft
First Floor Area:	138 Sq Ft		

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Regulating Codes

2022	California Building Code
	ADU Elevations
	Volumes 1 & 2
2022	California Mechanical Code
2022	California Plumbing Code
2022	California electrical Code
2022	California Existing Buildings Code
2022	California Fire Code
2022	California energy Code
2022	International Property Management Code
2022	California Green Building Standards Code



Site Drainage Notes

The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of not less than one unit vertical in 20 units horizontal for a minimum distance of 10 feet measured perpendicular to the face of the wall if physical obstructions or lot lines prohibit 10 feet of horizontal distance, a 5 percent slope shall be provided to an approved alternative method of diverting water away from the foundation. Swales used for this purpose shall be sloped a minimum of 2 percent located within 10 feet of the building foundation, impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

Operation and Manintenance Manual

Operation and Maintenance Manual Shall be provided to the owners in accordance to residential mandatory measures 4.410.1

Deferred Submittal

Ownership of Document: This Document and the ideas incorporated herein, as an instrument of professional service are the property of Wilkins Studio Architects and are not to be used in whole or in part for any other project without the written authorization of Wilkins Studio Architects and Karen Wilkins, Architect



EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"

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Existing Site Plan

A0-0
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SITE PLAN NOTES & SYMBOL LEGEND

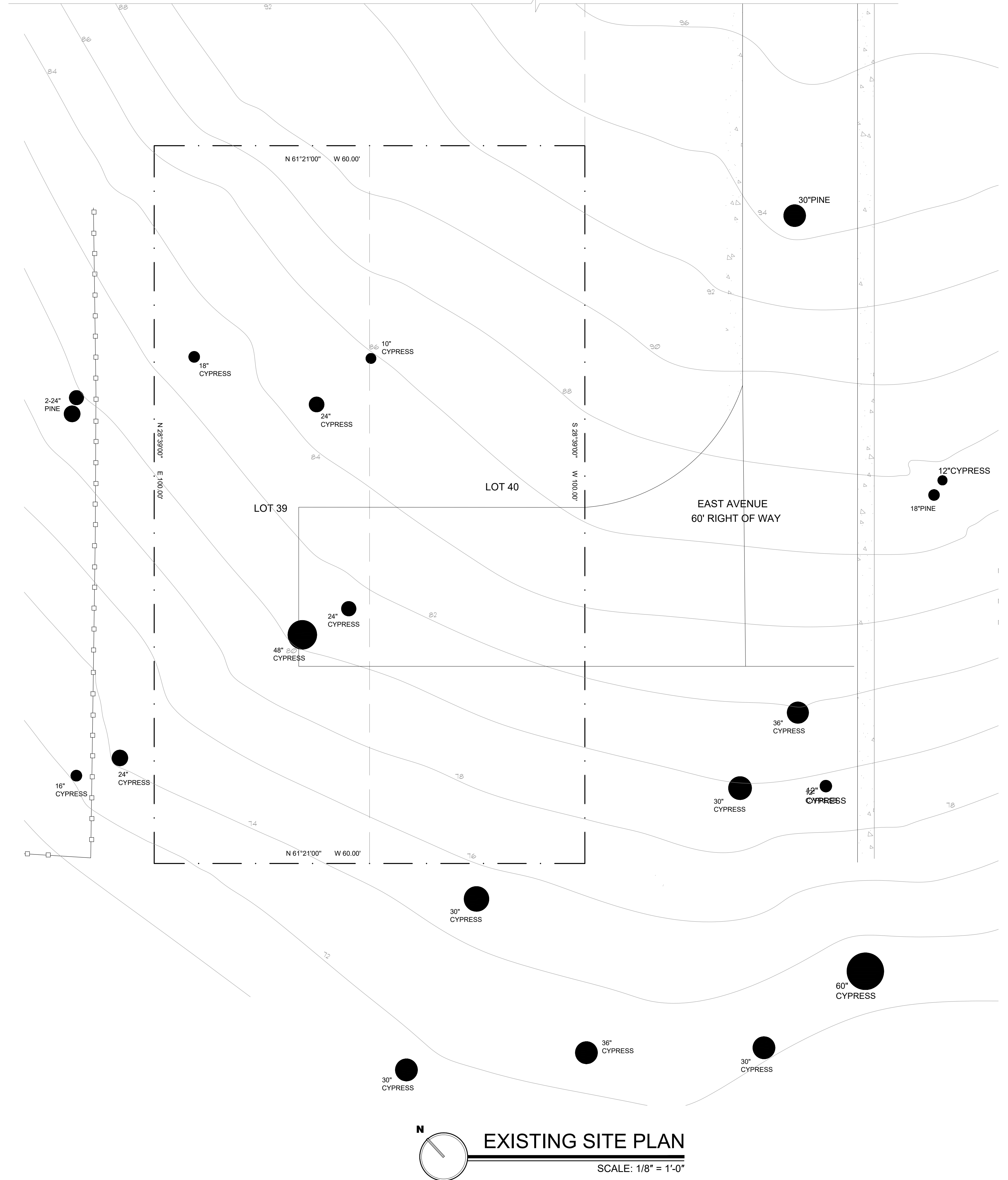
SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00 GENERAL	
01 01	PROPERTY LINE
01 02	SETBACK
02 00 EXISTING CONDITION	
02 01	EXISTING POWER POLES
03 00 EXISTING CONDITION	
03 01	PROPOSED CONCRETE DRIVEWAY
22 00 PLUMBING	
22.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES	
22 01	WATER ENTRY POINT W/ PRIVATE METERS, (1.5 WATER SERVICE& BBOS VALVE) CONTRACTOR TO VERIFY
22 02	GAS SUPPLY
22 03	SEWER LINE
22 04	HIDRANT
26 00 ELECTRICAL	
26.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES	
26 01	MAIN ELECTRICAL SERVICE
26 02	TRANSFORMER LOCATION

GENERAL SITE NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECTED PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING CONTRACTOR.
- THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE, AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- ALL DIMENSIONS, SETBACKS, AND PROPERTY BOUNDARIES SHOWN HERE MAY ONLY BE CONSIDERED TO BE APPROXIMATE. CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFICATION OF ALL SETBACKS OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THE SITE PLAN.
- SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

LINE LEGEND

---(E)E---	EXISTING ELECTRICAL SUPPLY
---(E)P---	EXISTING WATER SUPPLY
---(E)G---	EXISTING GAS SUPPLY
---(E)S---	EXISTING BUILDINGS SEWER
---(N)E---	NEW ELECTRICAL SUPPLY
---(N)P---	NEW WATER SUPPLY
---(N)G---	NEW GAS SUPPLY
---(N)G---	NEW GAS SUPPLY
---(N)G---	NEW GAS SUPPLY
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---- U ----	NEW BUILDING SEWER



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Existing Site Plan

A0-1
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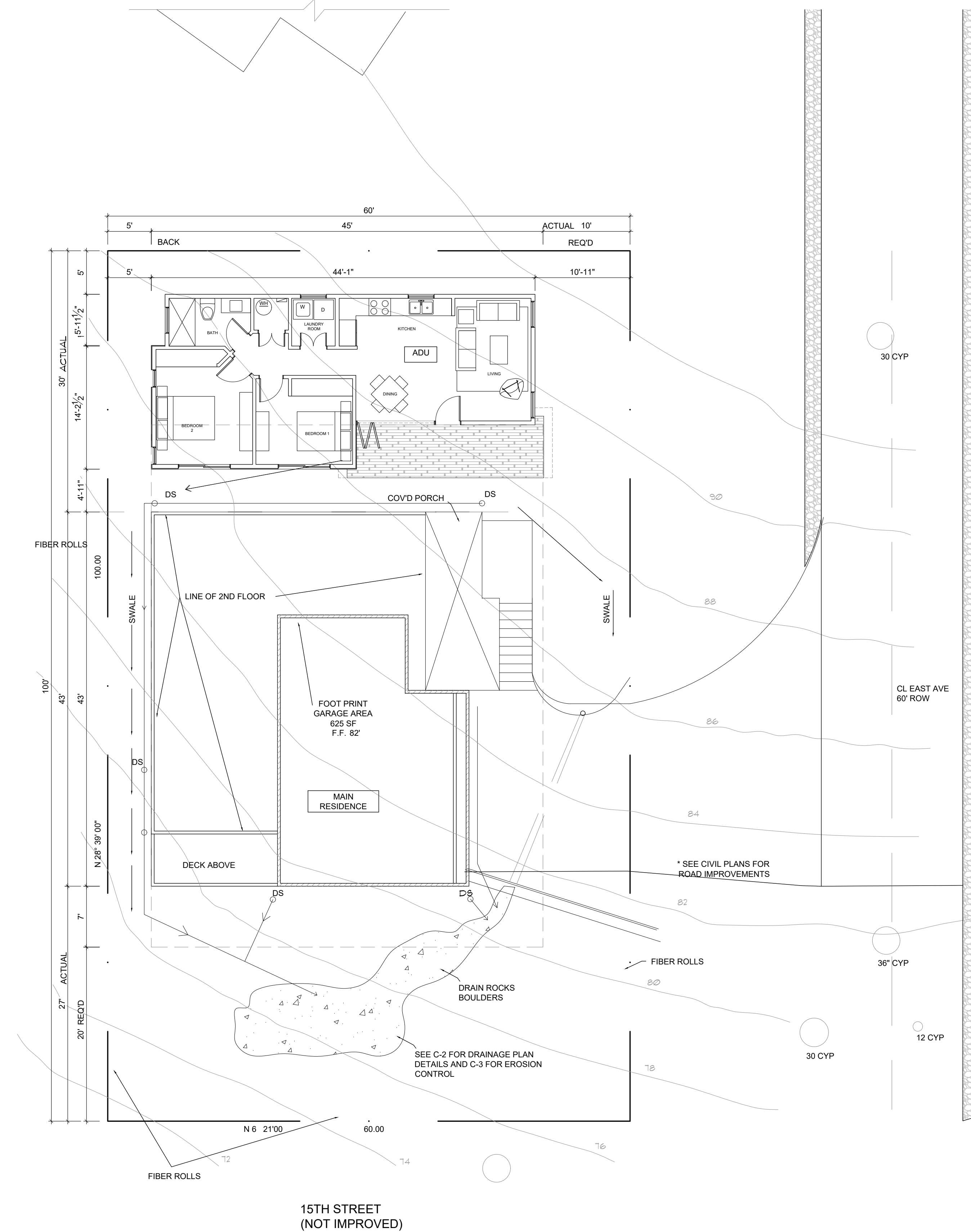
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---(N)G---	NEW GAS SUPPLY
---(N)G---	NEW GAS SUPPLY
---(N)S---	NEW BUILDING SEWER
---- U ----	NEW BUILDING SEWER



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



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Proposed Site Plan
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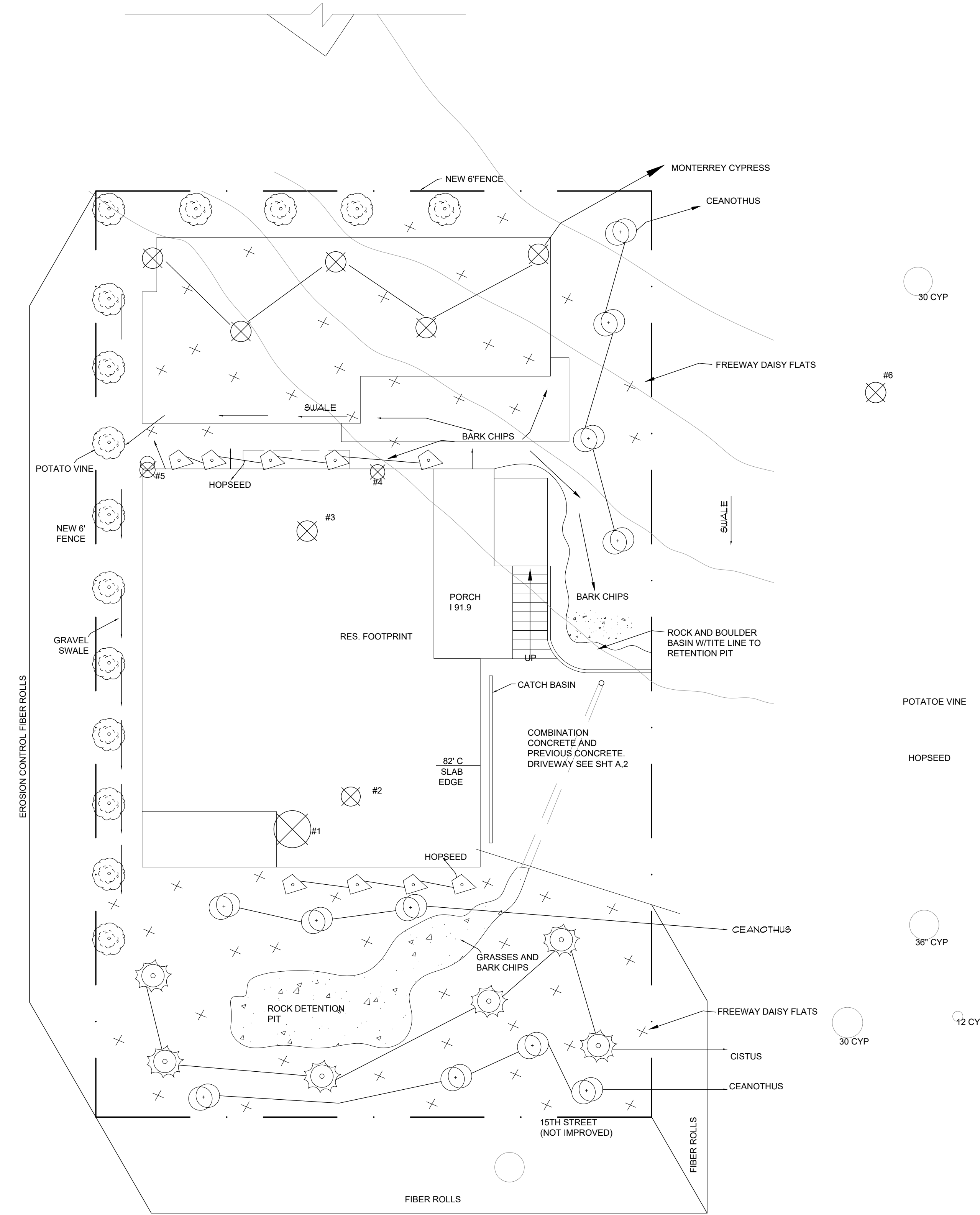
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LEYEND TREES REMOVED:

- #1 48" Ø CYPRESS
- #2 24" Ø CYPRESS
- #3 24" Ø CYPRESS
- #4 10" Ø CYPRESS
- #5 18" Ø CYPRESS
- #6 30" Ø PINE
- ⊙ CEANOTHUS 8-C2GAL
- ⊙ POTATOE VINE 15 C 1GAL
- ⊙ NEW TREES-MONTERREY CYPRESS 5 C 15GAL
- ⊙ HOPSEED - 9 C 1GAL
- ⊙ FREEWAY DAISY FLATS
- ⊙ CISTUS - 6 - 1GAL

GENERAL SITE NOTES

1. DO NOT USE MEXICAN FEATHER OR CRIMSON FOUNTAIN GRASSES



TREE REMOVAL PLAN
SCALE: 1/8" = 1'-0"



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Plan
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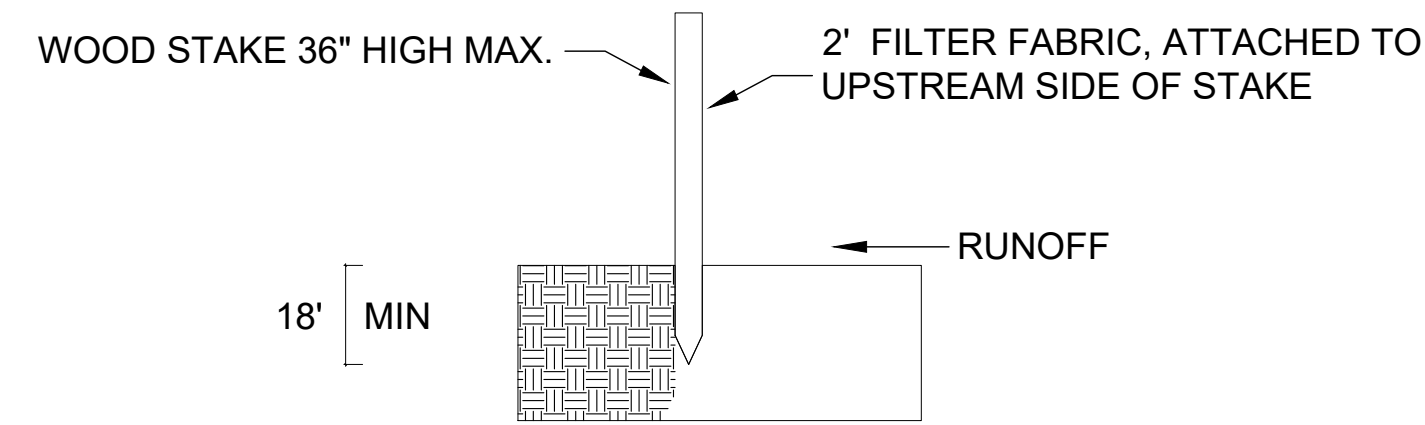
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- #5 18" Ø CYPRESS
- #6 30" Ø PINE
- CEANOTHUS 8-C2GAL
- POTATOE VINE 15 C 1GAL
- NEW TREES-MONTERREY CYPRESS 5 C 15GAL
- HOPSEED - 9 C 1GAL
- FREEWAY DAISY FLATS
- CISTUS - 6 - 1GAL

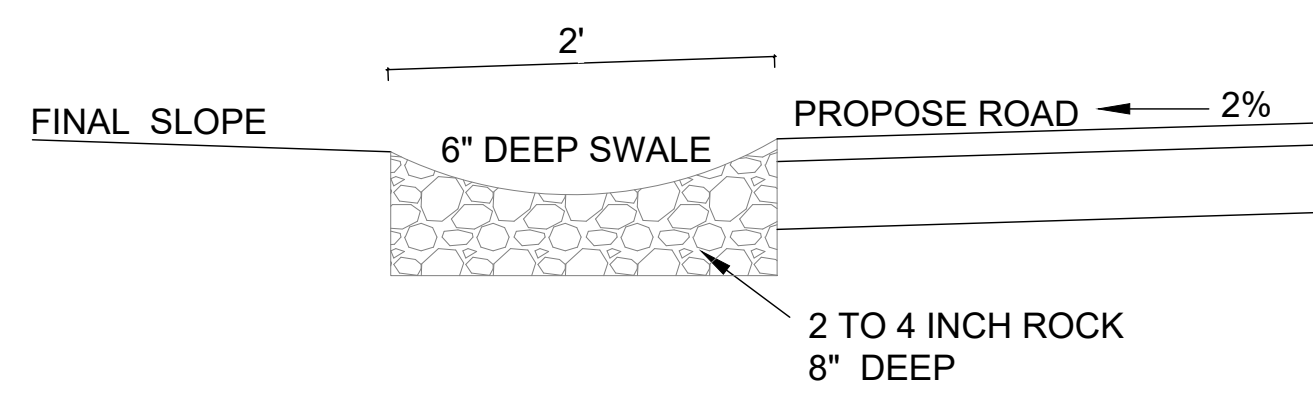
GENERAL SITE NOTES

1. DO NOT USE MEXICAN FEATHER OR CRIMSON FOUNTAIN GRASSES

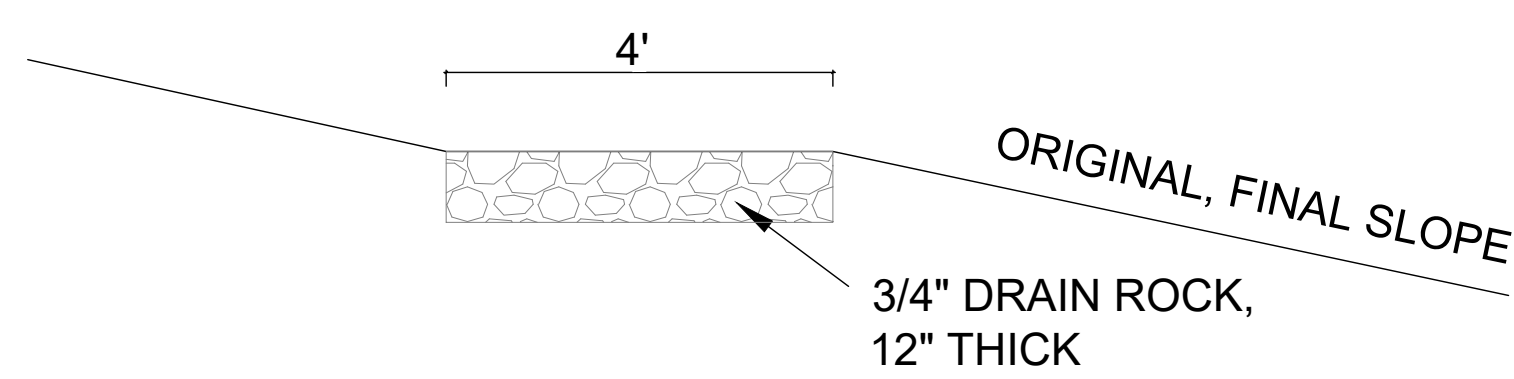


- NOTES:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM AND REMOVE SEDIMENT AS NECESSARY.
 2. REMOVED SEDIMENT SHALL BE STORED IN STOCKPILE AREA.

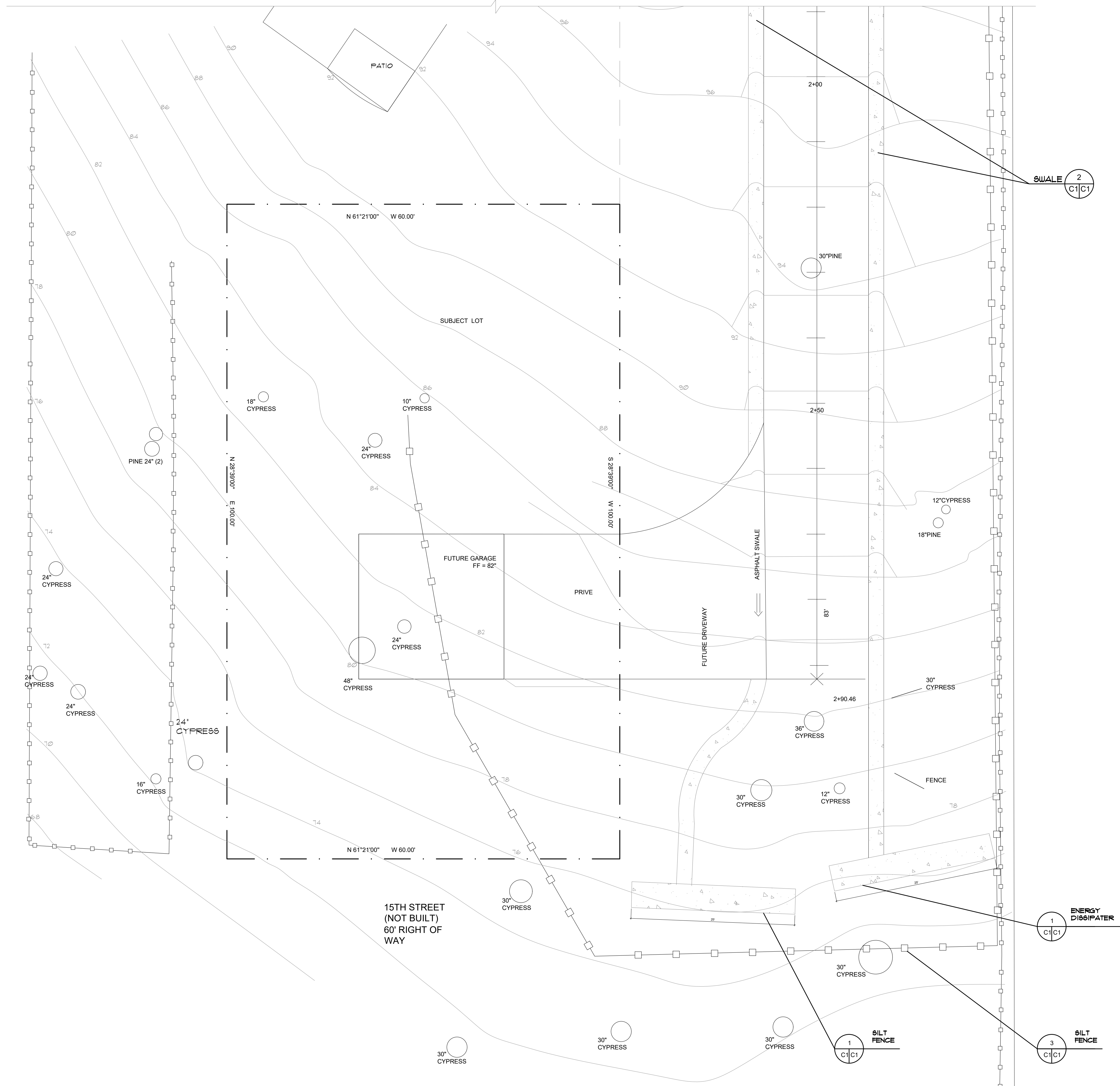
3 SILT FENCE
SCALE: NTS



2 SWALE DETAIL
SCALE: NTS



1 ENERGY DISSIPATER
SCALE: NTS



TREE PROTECTION PLAN
SCALE: 1/8" = 1'-0"

Wilkins Studio
Architects
San Francisco CA
(415)273-9054

ARCHITECT
KAREN WILKINS, AIA
CONSTRUCTION
RENEWAL DATE 02/25
STATE OF CALIFORNIA

Architect
Wilkins Studio Architects
Contract: Karen Wilkins, AIA
785 Quintana Rd # 180
Morro Bay, CA 93442
(415) 273-9054

Owner:

East Street Residence
1900 East Street, Montara, CA 94037
APN: 037-015-090

No.	Description	Date
1	Progress Set	07/28/2023

Tree Protection Plan
A0-4
Scale: As Noted
Sheet size: Arch D

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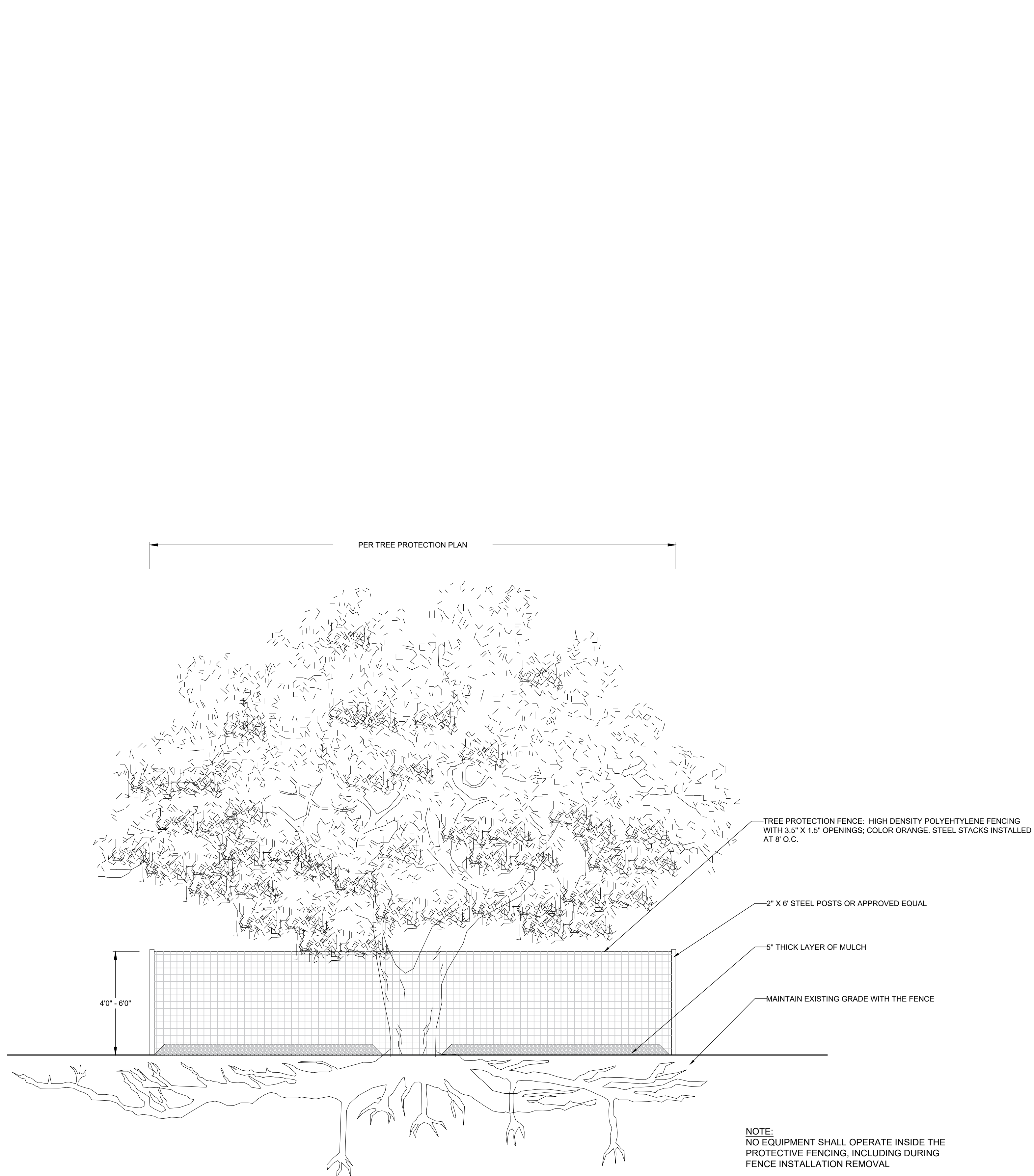
East Street Residence
1900 East Street, Montara, CA 94037
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1	Progress Set	07/28/2023

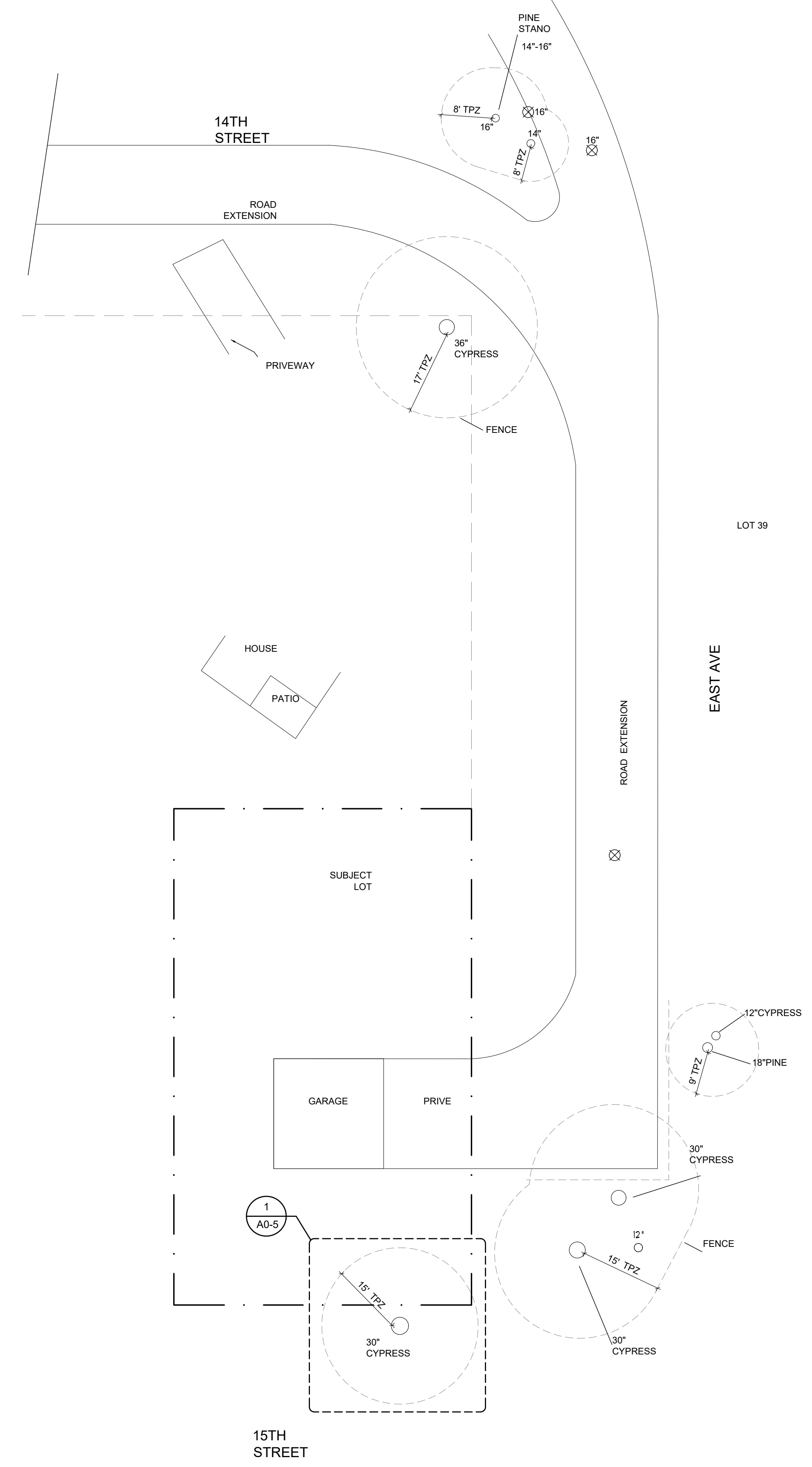
Tree Protection Plan

A0-5
Scale: As Noted
Sheet size: Arch D

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1 TREE PROTECTION DETAIL
SCALE: NTS

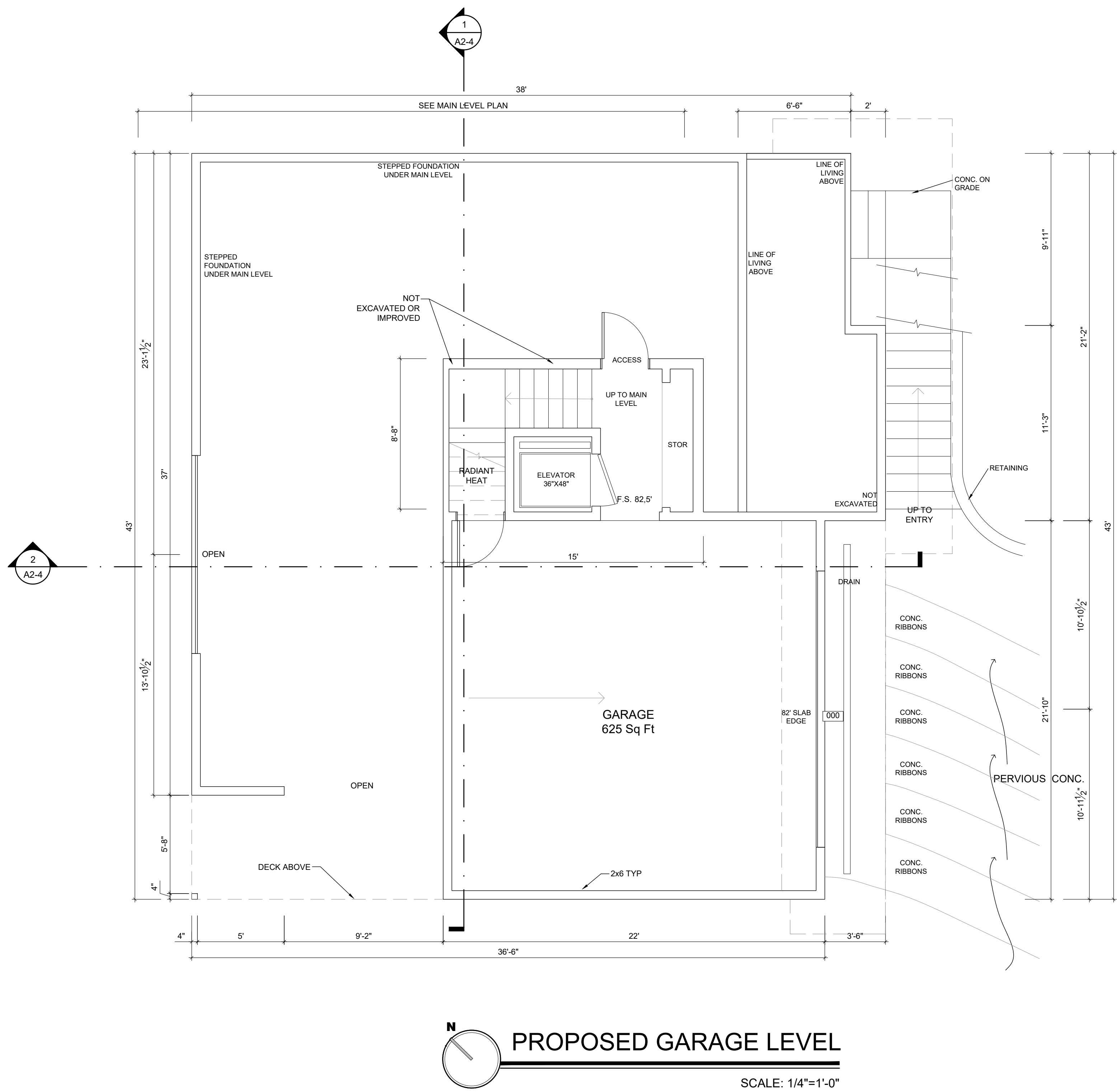


FLOOR PLAN KEYNOTES & NOTES

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	EAVE ABOVE
02 00	SITE
02 01	SLOPE FINISH GRADE 5% OF 10'-0" AWAY FROM STRUCTURE ALL AROUND U.O.N. ON GRADING PLAN LANDSCAPE AREA
03 00	CONCRETE
03 01	CONCRETE LANDING
06 00	WOOD
06 01	6.1. INSTALL FIRE (BLOCKING) STOPPING PER CBC CHAPTER 7 IN THE FOLLOWING LOCATIONS: a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES SUCH AS AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL. b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING. c. IN CONCEALED SPACES BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED. d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS. 6.2. PROVIDE 2X BACKING FOR TOWEL BARS, TOILET PAPER HOLDERS, WINDOW COVERINGS ETC. COORDINATE FINAL LOCATIONS IN WITH OWNER. HANDRAILS SHALL MEET MINIMUM REQUIREMENTS OF THE 2019 CBC SECTION R311 MOUNTING HEIGHT OF HANDRAIL TO BE BETWEEN 34" AND 38" ABOVE STAIR NOSING 20X30 MIN. ATTIC ACCESS
06 02	
07 00	THERMAL & MOISTURE PROTECTION
7.1	CONTRACTOR SHALL INSTALL ALL INSULATION AS REQUIRED AS FOLLOWS: WALL INSULATION: R-30 BATT / 2X8 @ 24" O.C. W/1" (R-5) RIGID BETWEEN SHEATHING & FINISH FLOOR INSULATION: R-30 BATT @ JOISTS ROOF INSULATION: R-30 MIN W/ R-9 RIGID RIPE INSULATION: R-8 WRAPPED HOT WATER ONLY WEATHER STRIPPING @ ALL EXTERIOR DOORS AND WINDOWS CAULKING: @ ALL EXTERIOR OPENINGS AND PENETRATIONS 7.2. ALL INSULATION MATERIAL SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 200 AND A SMOKE DENSITY NOT TO EXCEED 450. 7.3. ALL FLASH / COUNTER FLASHING SHALL COMPLY WITH 2016 CRC.
08 00	OPENINGS
8.1	SEE DOOR AND WINDOWS NOTES ON SHEET A3.1
8.2	TEMPERED GLAZING NOTE: ALL WINDOWS TO BE TEMPERED GLAZING OR FIRE RATED PER CBC 708A LOCATIONS SHOWN ON PLAN ARE MINIMUM REQUIRED LOCATIONS PER CBC 708 TO BE TEMPERED ON BOTH PAGES. SEE SPECIAL CONSTRUCTION NOTES - HIGH FIRE SEVERITY ZONE NOTES ON A 2.1
08 01	20 MIN. FREE RATED DOOR W/ SELF-CLOSER, FULL PERIMETER SMOKE GASKET & SELF-LATCHING HARDWARE
09 00	FINISHES
9.1	INTERIOR FINISHES TO BE SELECTED BY OWNER
9.2	CONTRACTOR SHALL INSTALL WATERPROOF GYPSUM BOARD AT ALL "WET" LOCATIONS SUCH AS TUB & SHOWER WALLS AND WINDOW SURROUNDS.
9.3	ALL DRYWALL AND PLASTERING SHALL CONFORM TO 2016 CRC.
9.4	WALL SURFACES BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SHALL BE CONSTRUCTED FOR MATERIALS NOT ADVERSELY AFFECTED BY WATER. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT SURFACE TO A HEIGHT OF 70" ABOVE DRAIN INLET.
9.5	THE FOR TUB AND SHOWER ENCLOSURES SHALL BE APPLIED OVER PORTLAND CEMENT PLASTER WITH 30M FELT BACKING W/ METAL LATH U.O.N. GYP BD @ WALLS & CEILINGS - 5/8" TYPE X ALL WALLS OR FLOORS BETWEEN LIVING SPACE AND GARAGE AND GARAGE CEILING SHALL HAVE 5/8" TYPE X FIRE CODE GYPSUM BOARD SURFACE. WRAP EXPOSED BEAMS & POSTS ARE REQUIRED. SHOWER ENCLOSURE: TILE/STONE SHOWER W/ PVC PAN LINER OR EQUAL. SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEAD SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR. [SET SHOWER IN RECESSED SLAB W/ NO CURB - ADA ENTRY] ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON ENCLOSED SIDE W/ 1/2" GYP. BOARD.
11 00	EQUIPMENT
	APPLIANCES AND FIXTURES TO BE SELECTED BY OWNER - WASHER (W) WATER & WASTE CONNECTION IN RECESSED BOX - VENT DRYER (D) TO EXTERIOR IN SMOOTH METAL DUCT, 14" MAX W/ 2-900 BENDS SEE MEP PLANS 48" GE MONOGRAM RANGE TOP GRIDDE MONOGRAM, COOKTOP/GAS. 48" STRAIGHT SIDED, 940 CFM, HEAT LAMP MONOGRAM, HOOD/HOOD ITEM, SS 4.3 CUL. FT., LCD DIS. DIR CONV. STMT MONOGRAM, WALL OVEN/ELECTRIC, SS 30 ADVANTUM 120V B/ OVEN, STATEMENT MONOGRAM, WALL OVEN/ELECTRIC, SS 24 SILVERWARE JETS, WIFI, STATEMENT MONOGRAM, DISHWASHER/BUILT-IN 48 SS. DISPENSER, WIFI MONOGRAM, REFRIG/BUILT-IN BI SXS STATEMENT HANDLE KIT-2 HANDLES MONOGRAM, ACCESSORY GE MONOGRAM 48" STAINLESS STEEL KNOBS RANGETOP MONOGRAM, ACCESSORY BEV CENTER, ELECTRONIC, MINIMALIST MONOGRAM, REFRIG/COMPACT HANDLE KIT UNDERCOUNTER SERIES MONOGRAM, ACCESSORY
11 01	
11 02	
11 03	
11 04	
11 05	
11 06	
11 07	
12 00	EQUIPMENT
12.1	FURNISHINGS WOOD CABINETS - [OIL STAINED/SEALED] CONCRETE/GRANITE/SOLID SURFACE COUNTERTOPS - COORDINATE WITH OWNER LINE OF UPPER CABINETS, TYPICAL
22 00	PLUMBING
22.1	SEE A-6 SHEETS FOR REQUIREMENTS AND NOTES
22 01	TOILET [1.28 GPF] - KOHLER K-11499-0 OR EQUAL
22 02	VANITY (GRANITE COUNTERTOP W/ UNDER-MOUNT SINK); FAUCET [1.5 GPF]
22 03	SHOWER ENCLOSURE: TILE/STONE W/ PVC PAN LINER; FAUCET [1.75 GPF] W/ SEAT @ 16" SLOPE TO DRAIN 1/2" PER FOOT MIN. COORDINATE FINAL LAYOUT WITH CONTRACTOR. [SET SHOWER IN RECESSED SLAB W/ NO CURB - ADA ENTRY] SHOWER RECEPTOR TO BE CONSTRUCTED PER CPC 408.7 W/ SLOPE NO LESS THAN 2% TO DRAIN.
22 04	BATHTUB
22 05	WATER METER
	HEATING, VENTILATION & AIR CONDITIONING
23.1	SEE M SHEETS FOR REQUIREMENTS AND NOTES HEAT PUMP ON PREFABRICATED PAD DYER VENT - 4" SMOOTH METAL DUCT - 14" W/2 - 90 DEG. ELBOWS MAX WITH BACK-DRAFT PREVENTER
26 00	ELECTRICAL
26.1	SEE A-5 SHEETS FOR REQUIREMENTS AND NOTES
26 01	ELECTRICAL PANEL
32 00	SITE IMPROVEMENTS
32.01	PV ARRAY #1 SEE SOLAR PLANS

FLOOR PLAN NOTES

- ALL NEW INTERIOR WALLS TO BE 2x4 UNO
- ALL PLUMBING AND EXTERIOR WALLS TO BE 2x6
- ALL INTERIOR DOOR TO BE SET 4" FROM WALL UNO
- PROVIDE VAPOR BARRIER ON THE WARM SIDE OF EXTERIOR WALLS IN BATHROOMS.
- CEILING IN UNFINISHED AREAS WILL HAVE UNFACED INSULATION THE UNFINISHED AREAS
- PROVIDE HANDRAILS MIN AND MAX HEIGHTS OF 34" AND 38". CONTINUOUS THE FULL LENGTH OF THE STAIRS AT LEAST ONE SIDE OF STAIR AND TERMINATE INTO THE WALL OR NEWEL POST. MAXIMUM RISERS HT IS 7 3/4" AND MINIMUM TREADS IS 10". PROVIDE 6" HEADROOM FOR STAIR
- PROVIDE GUARDRAILS WHERE FLOOR SURFACES ARE 30" OR MORE ABOVE THE GRADE BELOW. GUARDRAILS SHOULD HAVE A MIN. HEIGHT OF 42" AND HAVE BALUSTERS THAT ARE SPACED SO THAT OBJECTS 4" IN DIA. CANNOT PASS THROUGH.
- MAXIMUM DIFFERENCE BETWEEN THE TALLEST AND THE SMALLEST STAIR RISER SHALL NOT BE GREATER THAN 3/8"
- SD AND CO DETECTORS TO BE INSTALLED OUTSIDE OF BEDROOM WITHIN 15 FT OF BEDROOM DOORS.
- ALL PLUMBING FIXTURES LOCATION TO BE V.I.F. W/ OWNER PRIOR INSTALLATION
- PROVIDE PVC VENTS TYP. FOR MECH. EQUIPMENT
- ALL EXHAUST FANS MUST VENT DIRECTLY TO THE EXTERIOR
- ALL FURNACES SHALL BE PROVIDED WITH AN ELECTRICAL DISCONNECT SWITCH
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GULF-AMMATED MEMBERS OR JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED
- FOOTING DRAIN TILE SHALL BE PLACED ON A MINIMUM OF 2" OF GRAVEL AND BE COVERED WITH A MINIMUM OF 1" OF GRAVEL.
- PROVIDE PROTECTIVE COVERS FOR WDW WELLS.
- ENHANCED DURABILITY AND REDUCED MAINTENANCE.
4.408.1 RODENT PROOFING
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY
- 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.
EXCEPTIONS:
• EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
• ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
• THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.
- 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.
- IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE SEPARATED) OR BULK MIXED (SINGLE STREAM).
- IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN
- IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
- SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
- 4.408.3 WASTE MANAGEMENT COMPANY UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLES WITH SECTION 4.408.1.
NOTE:
THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.
4.408.4 WASTE STREAM REDUCTION ALTERNATIVE (LR) PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 3.41TBS/SQ.FT. OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1
4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1.
4.408.5 DOCUMENTATION
DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION 4.408.4.
NOTES:
1. SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED AT WWW/HCD.CA.GOV/CALGREEN.HTML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION.
2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C & D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE).
3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL INSPECTIONS, VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
- HVAC TYPE - NEW CENTRAL GAS FURNACE WITH COOLING (GIVEN) TO HAVE HEATING EFF. 0.96 AFUE AND COOLING EFF. 16 SEER, 12.5 EER FOR MAIN UNIT. (2 EACH FUTURE ADU UNIT WILL HAVE AN INDEPENDENT HVAC SYSTEM) MINI-SPLIT HEAT PUMP HAVING 8.5 HSPFF AND 15 SEER 12.5 EER
- R8 INSULATED DUCTS IN CONDITIONED SPACE.
- NEW 2x4 STUD WALLS (GIVEN) WITH R15 INSULATION AND 6" CONCRETE WALL WITH R15 INTERIOR INSULATION WALL AT 85' ROOM
- EXTERIOR WALL FINISH - STUCCO FOR GARAGE AND UPPER LEVEL WALLS AND WOOD SIDING FOR LOWER LEVEL WALLS.
- WINDOWS & DOORS WITH NFRC VALUE OF 0.29 U-FACTOR AND 0.21 SHGC
- SLAB ON GRADE. (GIVEN)
- (4x) ENERGY RECOVERY VENTILATOR (40 CFM, 23 WATTS, 0.66 HEAT RECOVERY. PRODUCT, PANASONIC FV04VE1)
- ALL INTERIOR AND EXTERIOR STAIR HANDRAILS TO COMPLY WITH CRC R311.7.9
- PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER HOUSE WRAP AS PER CRC R703.2
- GUARDS (SECTION R312):
A) SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW.
B) SHALL HAVE A HEIGHT OF 42" (MAY BE 34" ALONG THE SIDES OF STAIRS).
C) OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".
D) SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS. CALCULATIONS MAY BE REQUIRED. TABLE R301.5.
- PROVIDE STAIRWAY AND LANDING DETAILS. SECTION R311.7. A) MAXIMUM RISE IS 7-3/4" AND MINIMUM RUN IS 10", MEASURED FROM THE NOSING PROJECTION, WHERE THERE IS NO NOSING, THE MINIMUM RUN IS 11".
B) MINIMUM HEADROOM IS 6'-8".
C) MINIMUM WIDTH IS 36".
D) THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
E) OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. SECTION R311.7.5.1.
- A NOSING (BETWEEN 1/2" AND 1-1/2") SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS EXCEPT: NO NOSING IS REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES. SECTION R311.7.5.3.
- HANDRAILS (SECTION R311.7.8):
A) SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS.
B) HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
C) THE HAND GRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NORMORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. SEE SECTION R311.7.8.3 FOR ALTERNATIVES.
D) HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1-1/4 INCHES BETWEEN THE WALL AND THE HANDRAIL. E) ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
- EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION, MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION R311.7.6. EXCEPT: AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.



PROPOSED GARAGE LEVEL
SCALE: 1/4"=1'-0"



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Owner:

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1900 East Street, Montara, CA 94037
APN: 037-015-090

No.	Description	Date
	Progress Set	07/28/2023

Proposed Garage Floor Plan

A1-1
Scale: As Noted
Sheet size: Arch D

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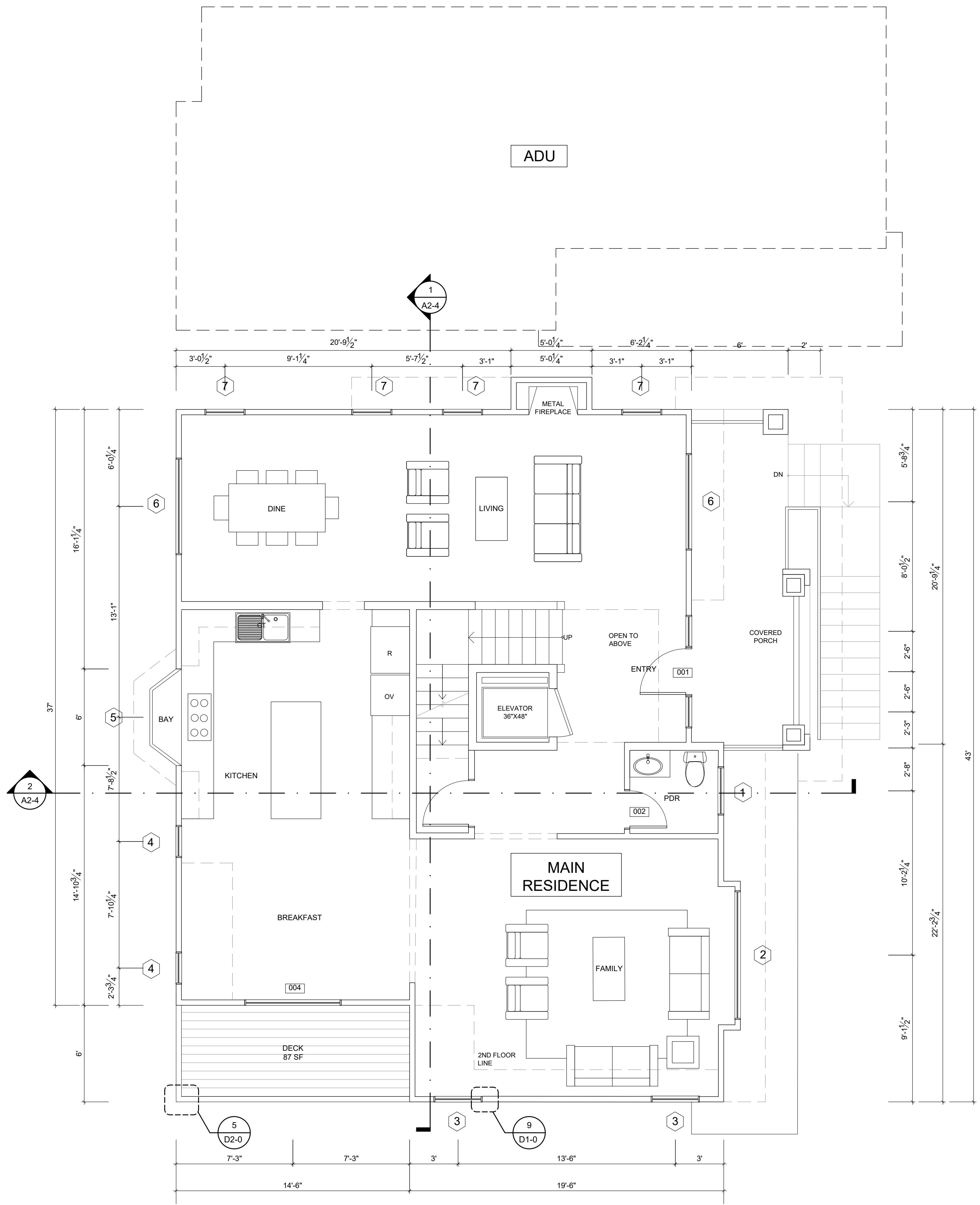
FLOOR PLAN KEYNOTES & NOTES

SYMBOL	DESCRIPCION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
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02 01	SLOPE FINISH GRADE 5% OF 10'-0" AWAY FROM STRUCTURE ALL AROUND U.O.N. ON GRADING PLAN LANDSCAPE AREA
03 00	CONCRETE
03 01	CONCRETE LANDING
06 00	WOOD
06 01	06 02
07 00	THERMAL & MOISTURE PROTECTION
08 00	OPENINGS
08 01	20. FIRE RATED DOOR W/ SELF-CLOSER, FULL PERIMETER SMOKE GASKET & SELF-LATCHING HARDWARE
09 00	FINISHES
11 00	EQUIPMENT
11 01	11 02
11 03	11 04
11 05	11 06
11 07	
12 00	EQUIPMENT
22 00	PLUMBING
22 01	22 02
22 03	22 04
22 05	
26 00	ELECTRICAL
26 01	
32 00	SITE IMPROVEMENTS
32 01	

FLOOR PLAN NOTES

- ALL NEW INTERIOR WALLS TO BE 2x4 UNO
- ALL PLUMBING AND EXTERIOR WALLS TO BE 2x6
- ALL INTERIOR DOORS TO BE SET 4" FROM WALL UNO
- PROVIDE VAPOR BARRIER ON THE WARM SIDE OF EXTERIOR WALLS IN BATHROOMS.
- CEILING IN UNFINISHED AREAS WILL HAVE UNFACED INSULATION THE UNFINISHED AREAS
- PROVIDE HANDRAILS MIN AND MAX HEIGHTS OF 34" AND 38", CONTINUOUS THE FULL LENGTH OF THE STAIRS AT LEAST ONE SIDE OF STAIR AND TERMINATE INTO THE WALL OR NEWEL POST. MAXIMUM RISERS Ht IS 7.34" AND MINIMUM TREADS IS 10". PROVIDE 6"-8" HEADROOM FOR STAIR.
- PROVIDE GUARDRAILS WHERE FLOOR SURFACES ARE 30" OR MORE ABOVE THE GRADE BELOW. GUARDRAILS SHOULD HAVE A MIN. HEIGHT OF 42" AND HAVE BALUSTERS THAT ARE SPACED SO THAT OBJECTS 4" IN DIA. CANNOT PASS THROUGH.
- MAXIMUM DIFFERENCE BETWEEN THE TALLEST AND THE SMALLEST STAIR RISER SHALL NOT BE GREATER THAN 3/8"
- SD AND CD DETECTORS TO BE INSTALLED OUTSIDE OF BEDROOM WITHIN 15 FT OF BEDROOM DOORS.
- ALL PLUMBING FIXTURES LOCATION TO BE V.I.F. W/ OWNER PRIOR INSTALLATION
- PROVIDE PVC VENTS TYP. FOR MECH. EQUIPMENT
- ALL EXHAUST FANS MUST VENT DIRECTLY TO THE EXTERIOR
- ALL FURNACES SHALL BE PROVIDED WITH AN ELECTRICAL DISCONNECT SWITCH
- VENTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIALLY ADDRESSED.
- FOOTING DRAIN TILE SHALL BE PLACED ON A MINIMUM OF 2" OF GRAVEL AND BE COVERED WITH A MINIMUM OF 6" OF GRAVEL. PROVIDE PROTECTIVE COVERS FOR WDW WELLS.
- ENHANCED DURABILITY AND REDUCED MAINTENANCE.
- 4.408.1 RODENT PROOFING ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
 - CONSTRUCTION WASTE MANAGEMENT RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. EXCEPTIONS:
 - EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
 - ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVER,ION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
 - THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVER,ION FACILITY.
 - 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.
 - IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE SEPARATED) OR BULK MIXED (SINGLE STREAM).
 - IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN.
 - IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
 - SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
 - 4.408.3 WASTE MANAGEMENT COMPANY UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLES WITH SECTION 4.408.1.
 - NOTE: THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.
 - 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE (LR) PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 3.41BS./SQ.FT. OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1
 - 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1
 - 4.408.5 DOCUMENTATION DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION 4.408.4. NOTES:
 - SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED AT WWW/WHCD.CA.GOV/CALGREEN/HML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION.
 - MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C & D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE).
 - 4.410.1 OPERATION AND MAINTENANCE MANUEL AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
 - DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 - OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGER, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
 - ROOF AND YARD DRAINAGE, INCLUDING GUTTER, AND DOWNSPOUTS.
 - SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
 - LANDSCAPE IRRIGATION SYSTEMS.
 - WATER REUSE SYSTEMS.
 - INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS OR METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
 - PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
 - EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
 - INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
 - INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.

- INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
- INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
- A COPY OF ALL SPECIAL INSPECTIONS, VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
- HVAC TYPE - NEW CENTRAL GAS FURNACE WITH COOLING (GIVEN) TO HAVE HEATING EFF. 0.96 AFUE AND COOLING EFF. 16 SEER, 12.5 EER FOR MAIN UNIT. (2 EACH FUTURE ADU UNIT WILL HAVE AN INDEPENDENT HVAC SYSTEM) MINI-SPLIT HEAT PUMP HAVING 8.5 HSPFF AND 15 SEER 12.5 EER.
- R8 INSULATED DUCTS IN CONDITIONED SPACE.
- NEW 2x4 STUD WALLS (GIVEN) WITH R15 INSULATION AND 6" CONCRETE WALL WITH R15 INTERIOR INSULATION WALL AT ROOM BS.
- EXTERIOR WALL FINISH - STUCCO FOR GARAGE AND UPPER LEVEL WALLS AND WOOD SIDING FOR LOWER LEVEL WALLS.
- WINDOWS & DOORS WITH NFRC VALUE OF 0.29 U-FACTOR AND 0.21 SHGC
- SLAB ON GRADE. (GIVEN)
- (4x) ENERGY RECOVERY VENTILATOR (40 CFM, 23 WATTS, 0.66 HEAT RECOVERY. PRODUCT: PANASONIC FV04VE1)
- ALL INTERIOR AND EXTERIOR STAIR HANDRAILS TO COMPLY WITH CRC R311.7.9
- PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER HOUSE WRAP AS PER CRC R703.2
- GUARDS (SECTION R312); A)SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW. B)SHALL HAVE A HEIGHT OF 42" (MAY BE 34" ALONG THE SIDES OF STAIRS).
- C)OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6". D)SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS. CALCULATIONS MAY BE REQUIRED. TABLE R301.5
- PROVIDE STAIRWAY AND LANDING DETAILS. SECTION R311.7. A)MAXIMUM RISE IS 7.34" AND MINIMUM RUN IS 10". MEASURED FROM THE NOSING PROJECTION. WHERE THERE IS NO NOSING, THE MINIMUM RUN IS 11". B)MINIMUM HEADROOM IS 6'-8". C)MINIMUM WIDTH IS 36". D)THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
- OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. SECTION R311.7.5.1.
- A NOSING BETWEEN 1/2" AND 1-1/2" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS EXCEPT: NO NOSING IS REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES. SECTION R311.7.5.3.
- HANDRAILS (SECTION R311.7.8); A)SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. B)HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS. C)THE HAND GRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1-1/2 INCHES NOMORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. SEE SECTION R311.7.8.3 FOR ALTERNATIVES. D)HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. E)ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS
- EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION, MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION R311.7.6. EXCEPTION: AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.



PROPOSED FIRST PLAN
SCALE: 1/4"=1'-0"

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San Francisco CA
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ARCHITECT
KAREN WILKINS, AIA
785 Quintana Rd # 180
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Owner:

East Street Residence
1900 East Street, Montara, CA 94037
APN: 037-015-090

No.	Description	Date
	Progress Set	07/28/2023

Proposed First Floor Plan
A1-2
Scale: As Noted
Sheet size: Arch D

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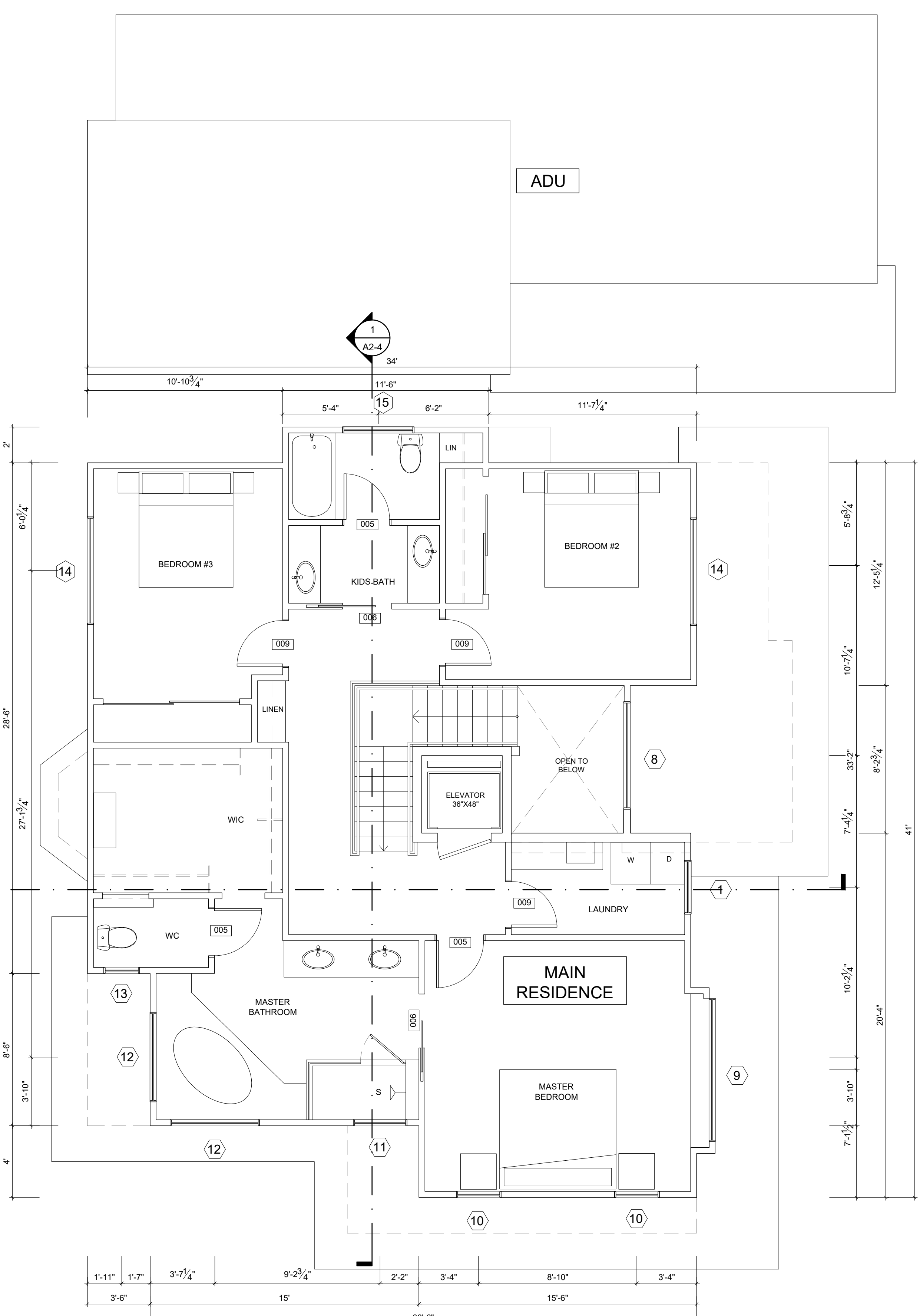
FLOOR PLAN KEYNOTES & NOTES

SYMBOL	DESCRIPCION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	EAVE ABOVE
02 00	SITE
02 01	SLOPE FINISH GRADE 5% OF 10'-0" AWAY FROM STRUCTURE ALL AROUND U.O.N. ON GRADING PLAN LANDSCAPE AREA
03 00	CONCRETE
03 01	CONCRETE LANDING
06 00	WOOD
06 01	06 02
07 00	THERMAL & MOISTURE PROTECTION
08 00	OPENINGS
08 01	20 MIN. FIRE RATED DOOR W/ SELF-CLOSED, FULL PERIMETER SMOKE GASKET & SELF-LATCHING HARDWARE
09 00	FINISHES
11 00	EQUIPMENT
11 01	11 02
11 03	11 04
11 05	11 06
11 07	
12 00	EQUIPMENT
22 00	PLUMBING
22 01	22 02
22 03	22 04
22 05	
26 00	ELECTRICAL
26 01	
32 00	SITE IMPROVEMENTS
32 01	

FLOOR PLAN NOTES

- ALL NEW INTERIOR WALLS TO BE 2x4 UNO
- ALL PLUMBING AND EXTERIOR WALLS TO BE 2x6
- INTERIOR DOORS TO BE SET 4" FROM WALL UNO
- PROVIDE VAPOR BARRIER ON THE WARM SIDE OF EXTERIOR WALLS IN BATHROOMS.
- CEILING IN UNFINISHED AREAS WILL HAVE UNFACED INSULATION THE UNFINISHED AREAS
- PROVIDE HANDRAILS MIN AND MAX HEIGHTS OF 34" AND 38", CONTINUOUS THE FULL LENGTH OF THE STAIRS AT LEAST ONE SIDE OF STAIR AND TERMINATE INTO THE WALL OR NEWEL POST.
- MAXIMUM RISERS HT IS 7.34" AND MINIMUM TREADS IS 10". PROVIDE 6"-8" HEADROOM FOR STAIR.
- PROVIDE GUARDRAILS WHERE FLOOR SURFACES ARE 30" OR MORE ABOVE THE GRADE BELOW. GUARDRAILS SHOULD HAVE A MIN. HEIGHT OF 42" AND HAVE BALUSTERS THAT ARE SPACED SO THAT OBJECTS 4" IN DIA. CANNOT PASS THROUGH.
- MAXIMUM DIFFERENCE BETWEEN THE TALLEST AND THE SMALLEST STAIR RISER SHALL NOT BE GREATER THAN 3/8"
- SD AND CO DETECTORS TO BE INSTALLED OUTSIDE OF BEDROOM WITHIN 15 FT OF BEDROOM DOORS.
- ALL PLUMBING FIXTURES LOCATION TO BE V.I.F. W/ OWNER PRIOR INSTALLATION
- PROVIDE PVC VENTS TYP. FOR MECH. EQUIPMENT
- ALL EXHAUST FANS MUST VENT DIRECTLY TO THE EXTERIOR
- ALL FURNACES SHALL BE PROVIDED WITH AN ELECTRICAL DISCONNECT SWITCH
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.
- FOOTING DRAIN TILE SHALL BE PLACED ON A MINIMUM OF 2" OF GRAVEL AND BE COVERED WITH A MINIMUM OF 6" OF GRAVEL. PROVIDE PROTECTIVE COVERS FOR WDW WELLS.
- ENHANCED DURABILITY AND REDUCED MAINTENANCE.
- 4.405.1 RODENT PROOFING
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4. OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.
EXCEPTIONS:
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• ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY LOCAL AGENCIES IF DIVER,ION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
• THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVER,ION FACILITY.
- 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN
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- 4.408.3 WASTE MANAGEMENT COMPANY UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLES WITH SECTION 4.408.1.
NOTE:
THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.
4.408.4 WASTE STREAM REDUCTION ALTERNATIVE (LR)
PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 3.41BS./SQ.FT. OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1
4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE
PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1
4.408.5 DOCUMENTATION
DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION 4.408.4.
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c. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
d. LANDSCAPE IRRIGATION SYSTEMS.
e. WATER REUSE SYSTEMS.
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4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
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- EXTERIOR WALL FINISH - STUCCO FOR GARAGE AND UPPER LEVEL WALLS AND WOOD SIDING FOR LOWER LEVEL WALLS.
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- PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER HOUSE WRAP AS PER CRC R703.2
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B)SHALL HAVE A HEIGHT OF 42" (MAY BE 34" ALONG THE SIDES OF STAIRS).
C)OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".
D)SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS. CALCULATIONS MAY BE REQUIRED. TABLE R301.5
- PROVIDE STAIRWAY AND LANDING DETAILS. SECTION R311.7.7.
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C)MINIMUM WIDTH IS 36".
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- OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. SECTION R311.7.5.1.
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D)HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
E)ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS
5. EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION, MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION R311.7.6. EXCEPTION: AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.



PROPOSED SECOND PLAN
SCALE: 1/4"=1'-0"



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San Francisco CA
(415)273-9054



Architect
Wilkins Studio Architects
Contract: Karen Wilkins, AIA
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Morro Bay, CA 93442
(415) 273-9054

Owner:

East Street Residence
1900 East Street, Montara, CA 94037
APN: 037-015-090

No.	Description	Date
	Progress Set	07/28/2023

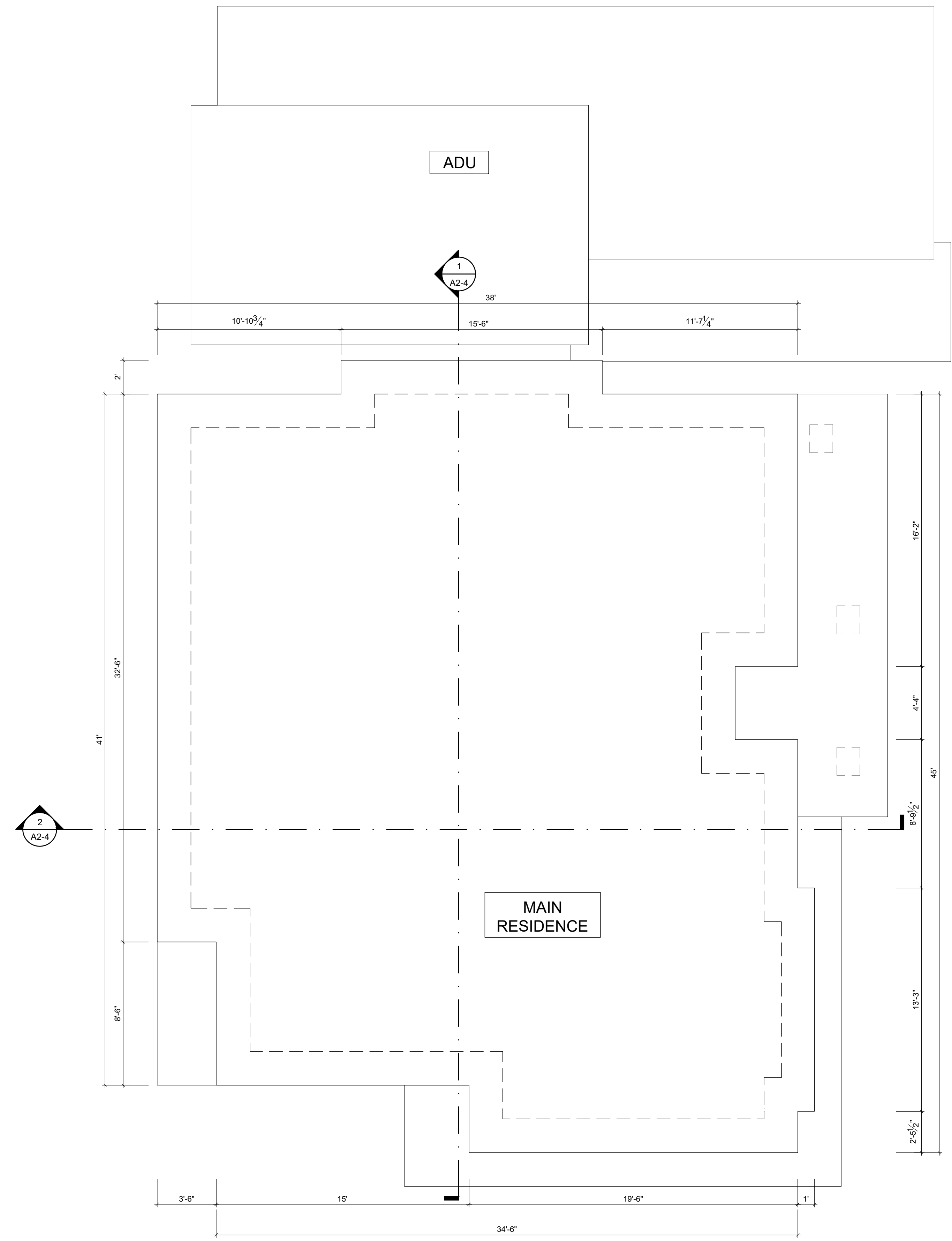
Proposed Second Floor Plan

A1-3
Scale: As Noted
Sheet size: Arch D

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ROOF PLAN KEYNOTES

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	LINE OF WALL BELOW
07 00	THERMAL & MOISTURE PROTECTION
	7.1 CONTRACTOR SHALL VERIFY ALL CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
	7.2 CONTRACTOR SHALL INSTALL ALL G.L. FLASHING AS REQUIRED TO COMPLETE ASSEMBLY FOR WATER-TIGHT CONSTRUCTION. (26 GAUGE, TYPICAL) COLOR MATCH ROOF WHERE VISIBLE.
	7.3 ALL PENETRATIONS AS MAY OCCUR SHALL BE FLASHED AND CAPPED AS REQUIRED.
	7.4 PROVIDE ALL FLASHING AND CLOSURE STRIPS AND INSTALL PER MANUFACTURER'S REQUIREMENTS - SEE DETAILS.
	7.5 MATCH ROOF SLOPE TO DRAIN @ CRICKETS WHEN POSSIBLE.
	7.6 ROOF COVERING AND UNDERLAYMENT SHALL COMPLY W/ 2019 CRC CHAPTER 9.
	7.7 ALL ROOF EAVES AND FASCIA CONDITIONS SHALL BE AS PER DETAILS. ADJUSTMENTS IN THE FIELD SHALL OCCUR ONLY AS NECESSITATED BY DIMENSIONAL DISCREPANCIES - COORDINATE WITH ARCHITECT.
	7.8 R-13 BATT TO BE INSTALLED DIRECTLY BELOW ROOF SHEATHING IN UPPER CORD OF TRUSSES.
07 01	"DS" INDICATES 2"x3" RECTANGULAR DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT)
	"DTR" INDICATED DOWNSPOUT TO ROOF OR GUTTER BELOW
07 02	CERTAINTEEED ASPHALT ROOF SHINGLES ICC-ES-ESR-1389 OR EQUAL
08 00	WINDOWS
08 01	SKYLIGHT



PROPOSED ROOF PLAN
 SCALE: 1/4"=1'-0"



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Owner:

East Street Residence
 1900 East Street, Montara, CA 94037
 APN: 037-015-090

No.	Description	Date
	Progress Set	07/28/2023

Proposed Roof Plan

A1-4
 Scale: As Noted
 Sheet size: Arch D

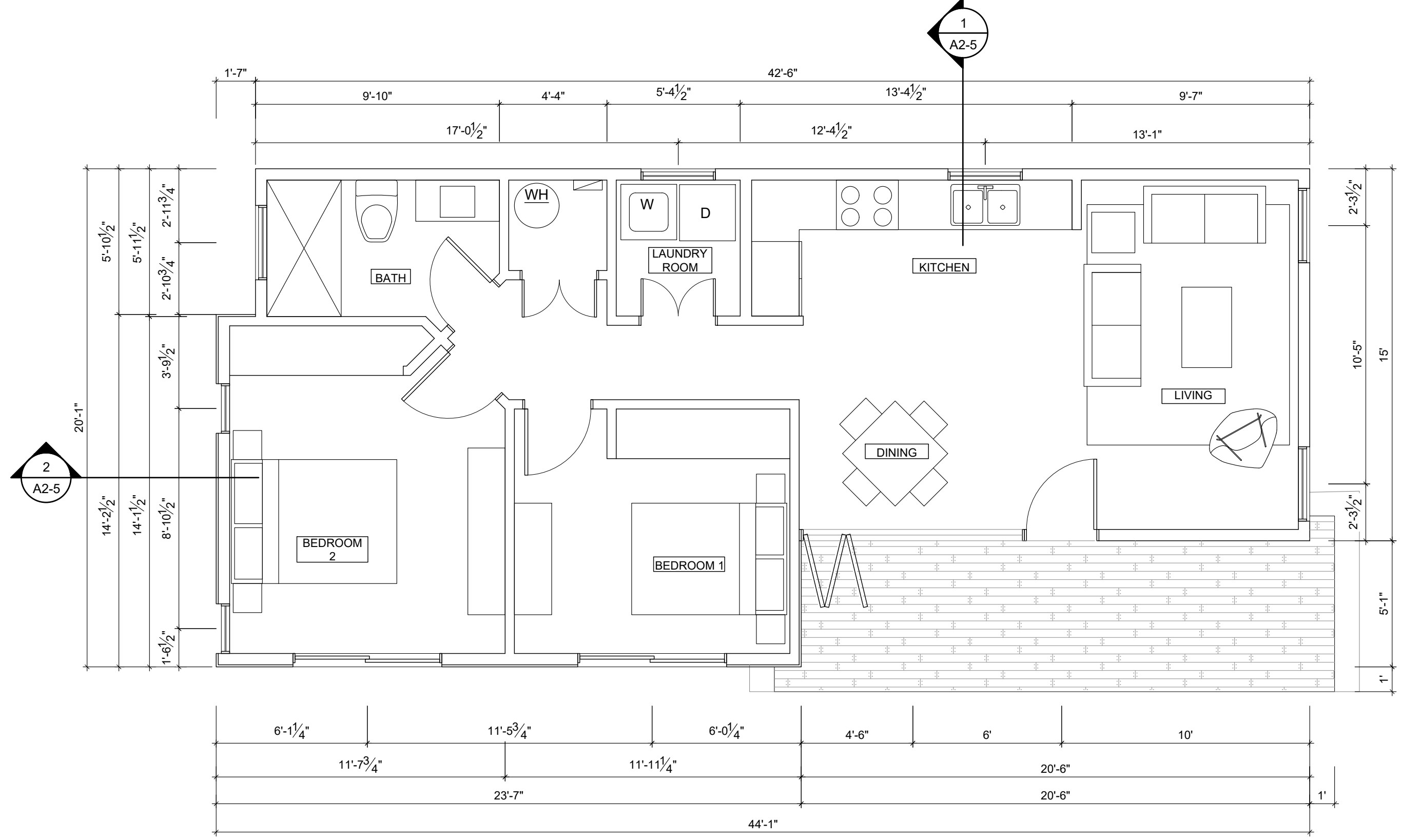
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FLOOR PLAN KEYNOTES & NOTES

Table with columns: SYMBOL, DESCRIPCION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET). Rows include GENERAL, EAVE ABOVE, SITE, CONCRETE, WOOD, THERMAL & MOISTURE PROTECTION, OPENINGS, FINISHES, EQUIPMENT, FURNISHINGS, PLUMBING, ELECTRICAL, and SITE IMPROVEMENTS.

FLOOR PLAN NOTES

- 1. ALL NEW INTERIOR WALLS TO BE 2x4 UNO
2. ALL PLUMBING AND EXTERIOR WALLS TO BE 2x6
3. ALL INTERIOR DOORS TO BE SET 4" FROM WALL UNO
4. PROVIDE VAPOR BARRIER ON THE WARM SIDE OF EXTERIOR WALLS IN BATHROOMS.
5. CEILING IN UNFINISHED AREAS WILL HAVE UNFACED INSULATION THE UNFINISHED AREAS
6. PROVIDE HANDRAILS MIN AND MAX HEIGHTS OF 34" AND 38"...



PROPOSED ADU FLOOR PLAN

SCALE: 1/4"=1'-0"

Wilkins Studio Architects logo and contact information: San Francisco CA (415)273-9054. Includes a 'NOT FOR CONSTRUCTION' stamp.

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East Street Residence
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Proposed ADU Floor Plan
A1-5
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Table with columns: No., Description, Date. Row 1: Progress Set, 07/28/2023.

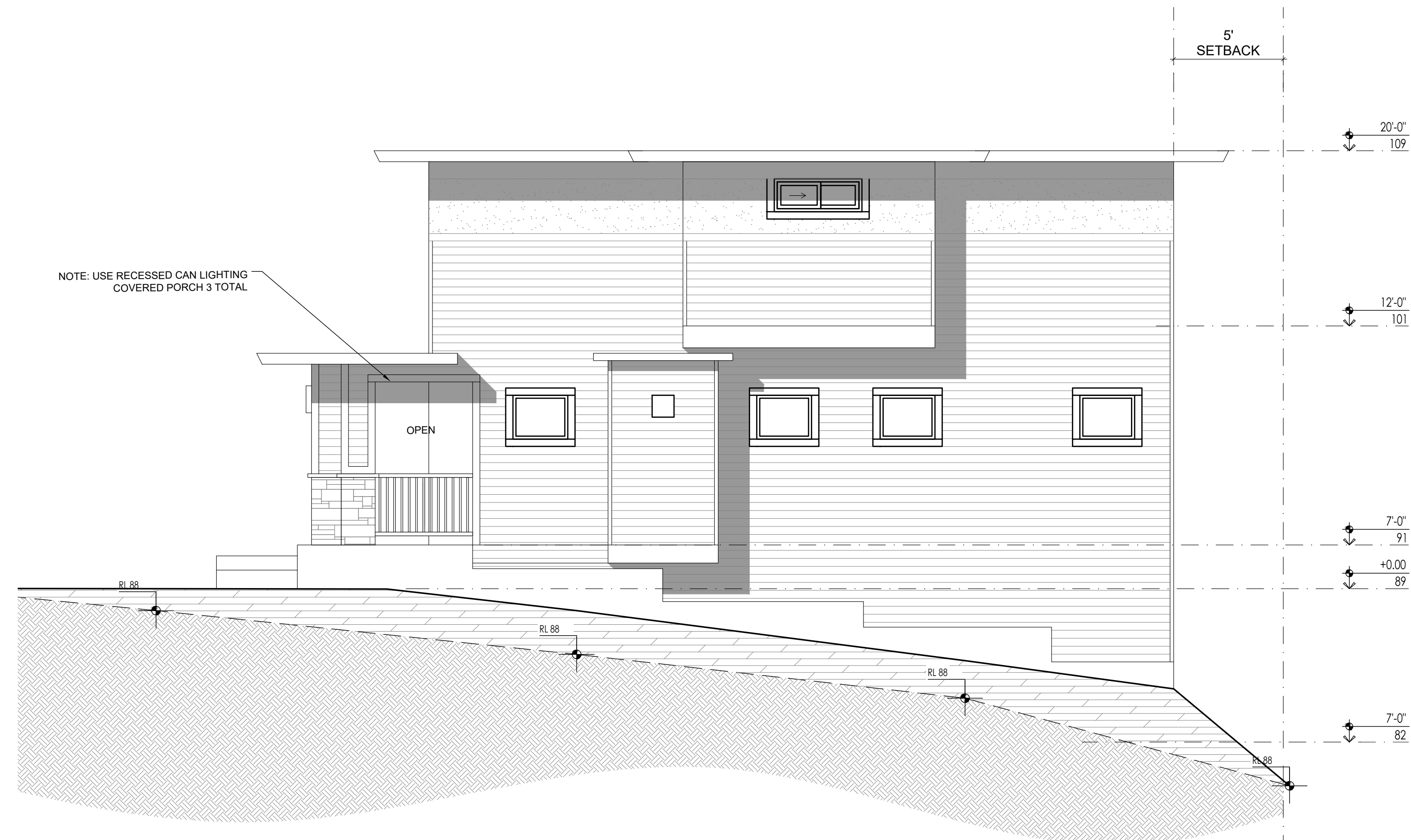
EXTERIOR ELEVATION NOTES & KEYNOTES

See outline specifications on sheet A0.4 for additional information in eahc category.

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5% FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS
07 00	THERMAL & MOISTURE PROTECTION
07 01	CERTAINTED ASPHALT ROOF SHINGLES ICC-ES ESR-1389 OR EQUAL
07 02	5" FASCIA GUTTER "DS" INDICATES DOWNSPLOT TO ROOF OR GUTTER BELOW
07 03	7.1 2 LAYERS OF TYVEK AIR AND WATER BARRIER PROTECTION BUILDING PAPER ATTIC VENT
08 00	OPENINGS
8.1	USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE ON D SHEETS WINDOW FLASHING DETAIL
8.2	COMPLIANCE WITH MINIMUM EGRESS REQUIREMENTS FOR ALL BEDROOM WINDOWS. PER CRC R310.2, EGRESS OR EMERGENCY ESCAPE AND RESCUE OPENINGS FROM SLEEPING ROOMS SHALL MEET ALL THE FOLLOWING CONDITIONS: a. MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. b. MINIMUM CLEAR OPENING WIDTH OF 20". c. MINIMUM CLEAR OPENING HEIGHT OF 24". d. MAXIMUM 44" TO THE BOTTOM OF THE CLEAR OPENING MEASURED FROM THE FLOOR.
09 00	FINISHES
09 01	IS 1-COAT, 7/8 INCH MINIMUM THICK; (2) HAS TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING; AND (3) HAS 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING), CRC SECTION R703.
09 02	BATTEN AND BOARD SIDING
09 03	FOAM TRIM - USE INVICTA OR EQUAL SILL/HORIZONTAL BAND: SS-105 WINDOW TRIM: ST1X4
09 04	FASCIA BOARD. COLOR TO BE DEFINED
09 05	BRICK VENEER



1 **NORTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"



2 **SOUTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"



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Main Residence Elevations

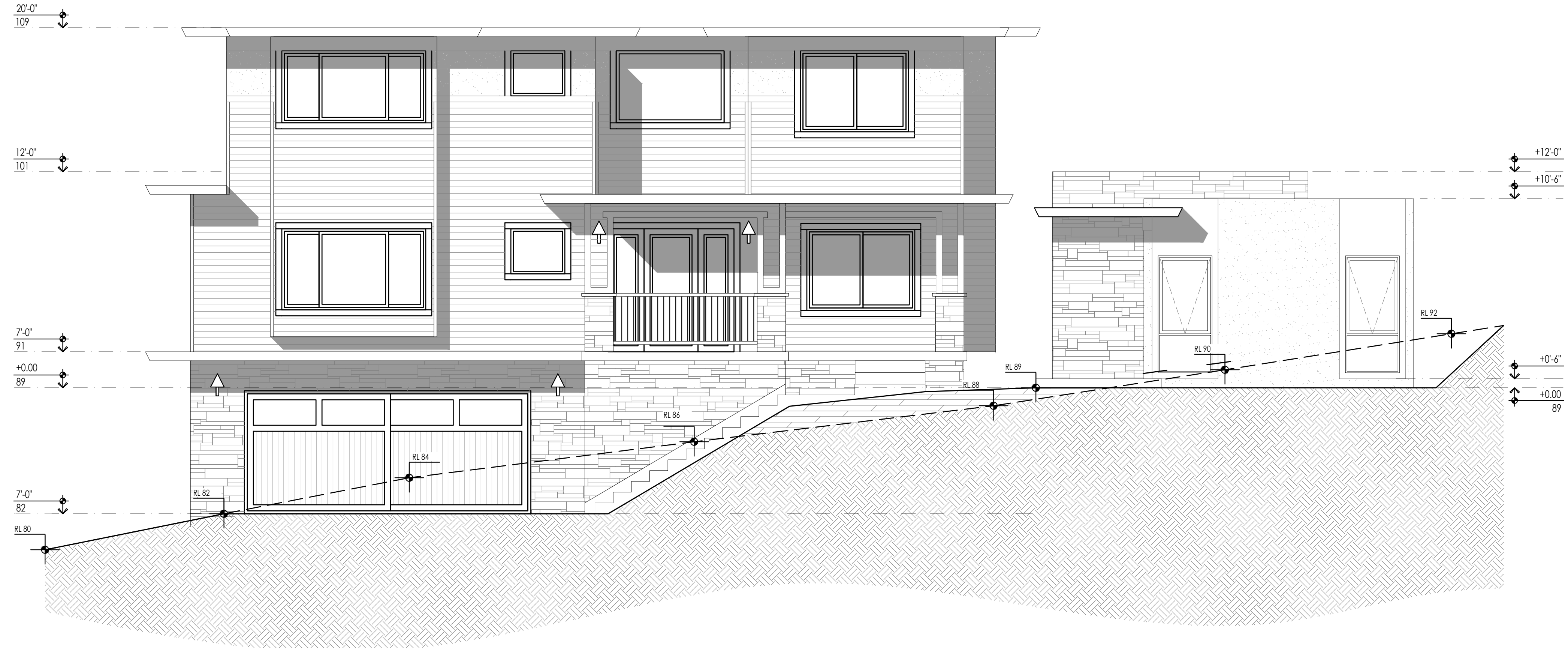
A2-1
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EXTERIOR ELEVATION NOTES & KEYNOTES

See outline specifications on sheet A0.4 for additional information in eabc category.

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02 00	SITE
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03 00	CONCRETE
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS
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09 04	FASCIA BOARD. COLOR TO BE DEFINED
09 05	BRICK VENEER



1 **SOUTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"



2 **NORTHWEST ELEVATION**
SCALE: 1/4" = 1'-0"

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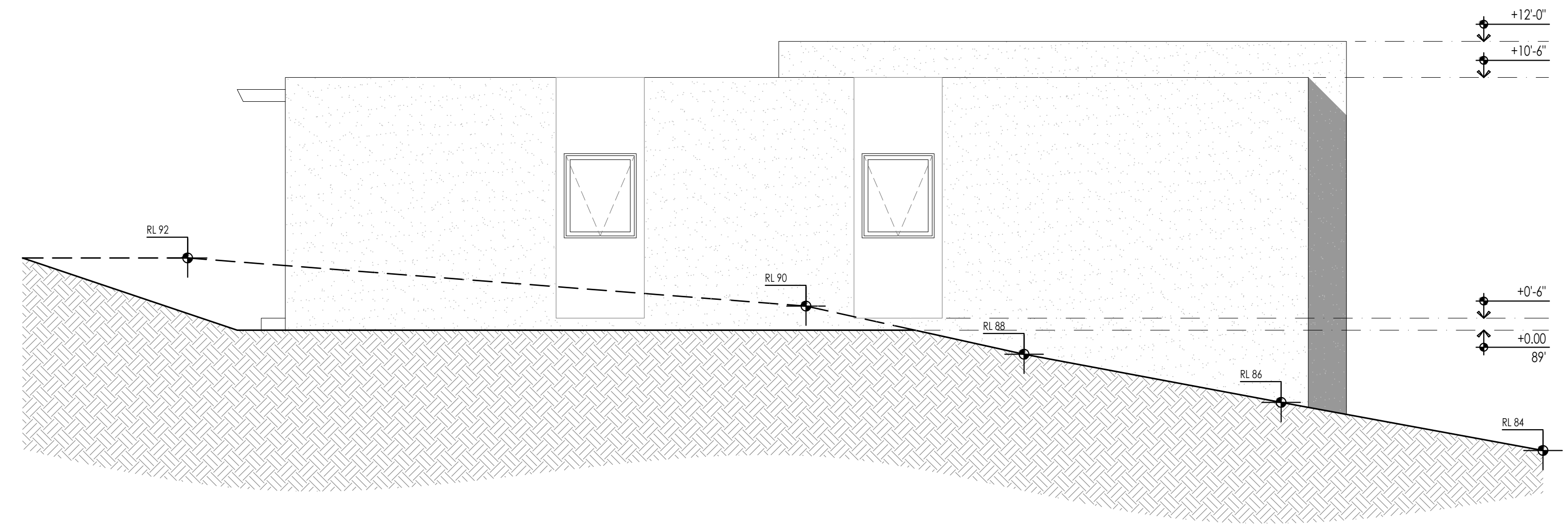
Main Residence
& ADU Elevations
A2-2
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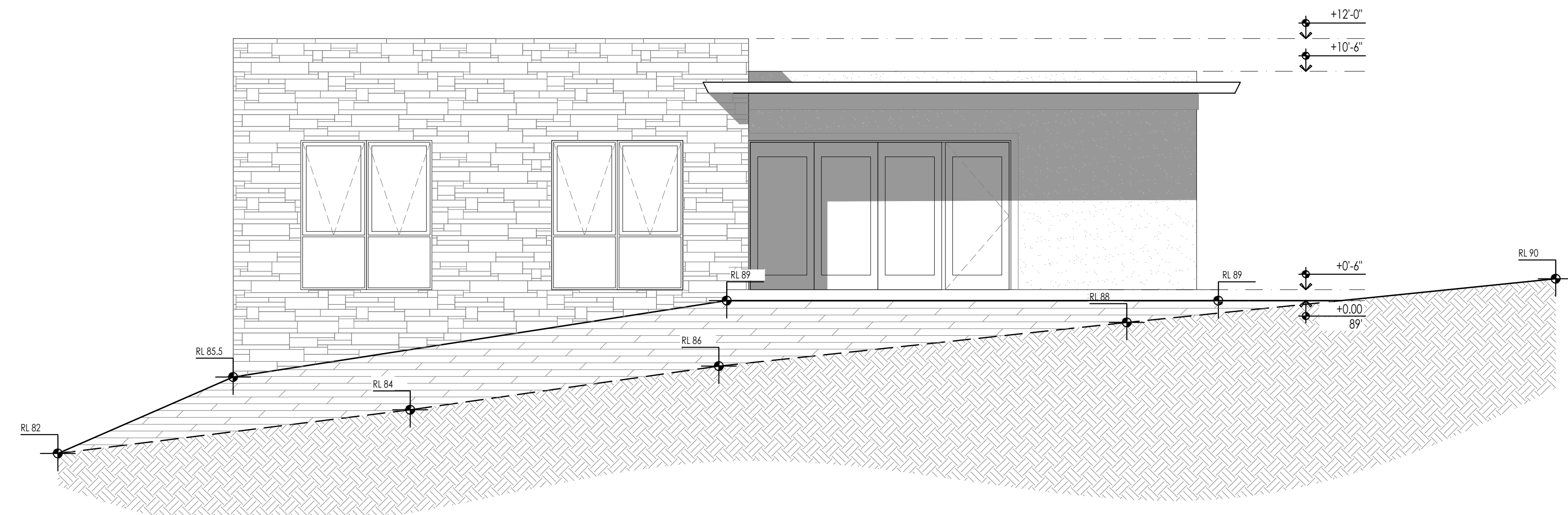
EXTERIOR ELEVATION NOTES & KEYNOTES

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02 01	FINISH GRADE / SURFACE - SLOPE 5% FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
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09 05	BRICK VENEER



2 **NORTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"



1 **SOUTHWEST ELEVATION**
SCALE: 1/4" = 1'-0"

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No.	Description	Date
	Progress Set	07/28/2023

ADU Elevations
A2-3
Scale: As Noted
Sheet size: Arch D

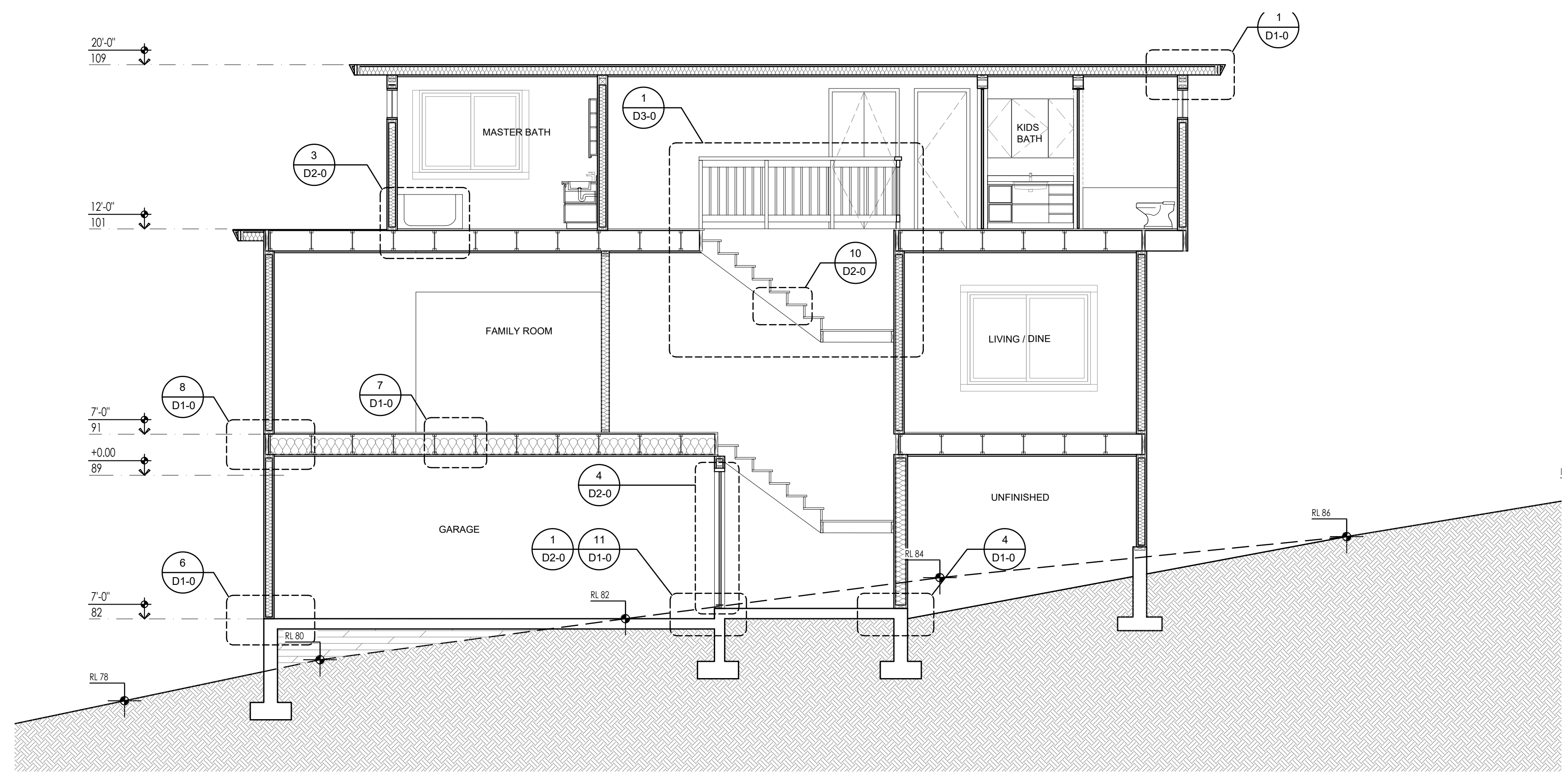
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SECTION NOTES & KEYNOTES

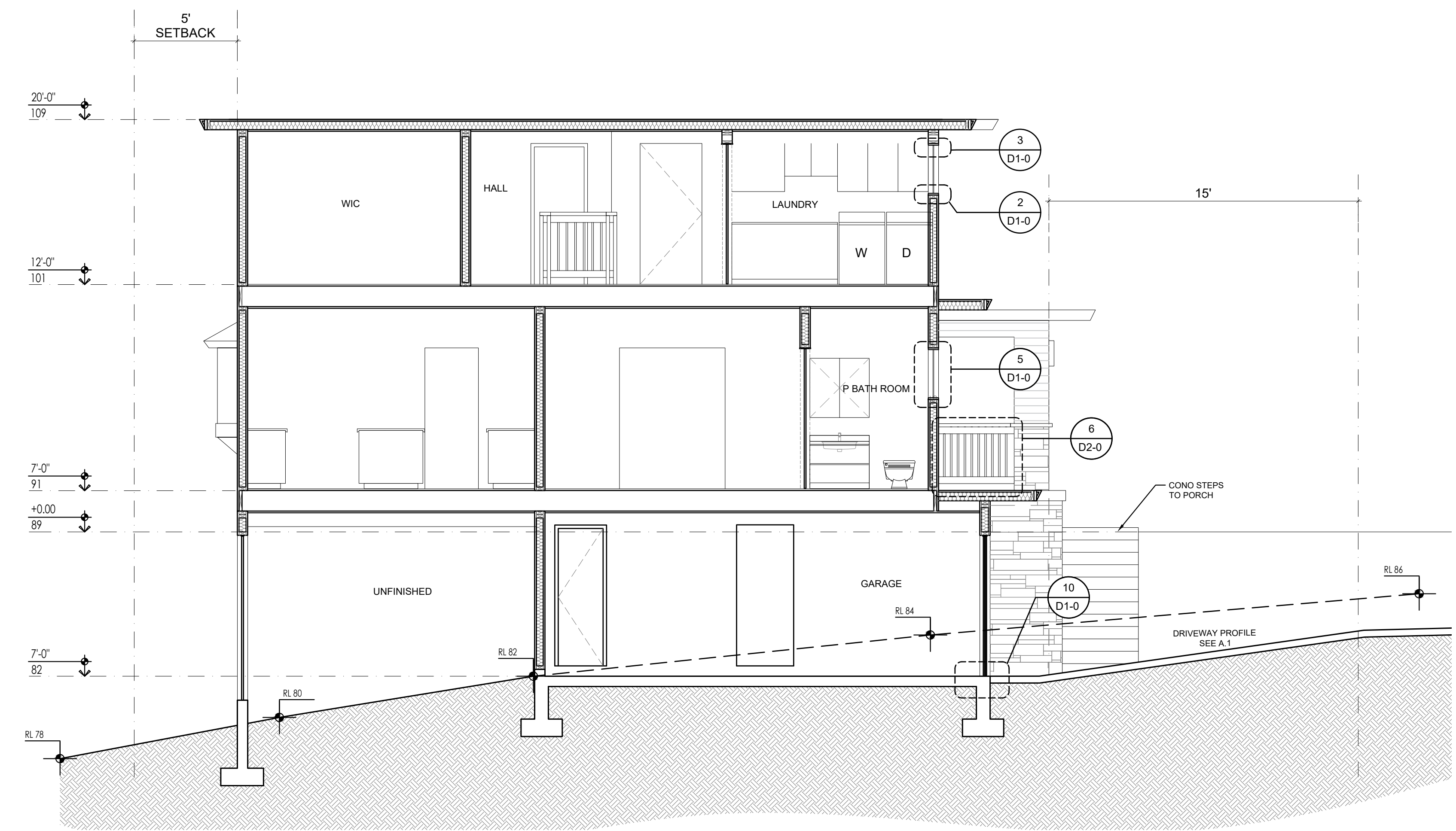
SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5% FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	SLAB ON GRADE
06 00	WOOD
06 01	2x FRAMING PER STRUCTURAL DRAWINGS
06 02	FLOOR JOIST PER STRUCTURAL DRAWINGS
06 03	2x MANUFACTURED TRUSSES PER FRAMING PLAN
07 00	THERMAL & MOISTURE PROTECTION
07 01	CERTAINTED ASPHALT ROOF SHINGLES ICC-ES ESR-1389 OR EQUAL
07 02	5" FASCIA GUTTER *DS* INDICATES RECTANGULAR DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT) *DTR* INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
08 00	OPENINGS
8.1	USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE A2-01 WINDOW FLASHING DETAIL

WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED, WITH SIGNS OR STENCILING IN THE CONCEALED SPACE, SUCH IDENTIFICATION SHALL:

1. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
2. INCLUDE LETTERING NOT LESS THAN 3" IN HEIGHT WITH A MIN. 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING:
 FIRE AND/OR SMOKE BARRIER PROTECT ALL OPENINGS, OR OTHER WORDING. (CBS 703.7)



1 SECTION 1
SCALE: 1/4" = 1'-0"



2 SECTION 2
SCALE: 1/4" = 1'-0"



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Sections
A2-4
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 Sheet size: Arch D

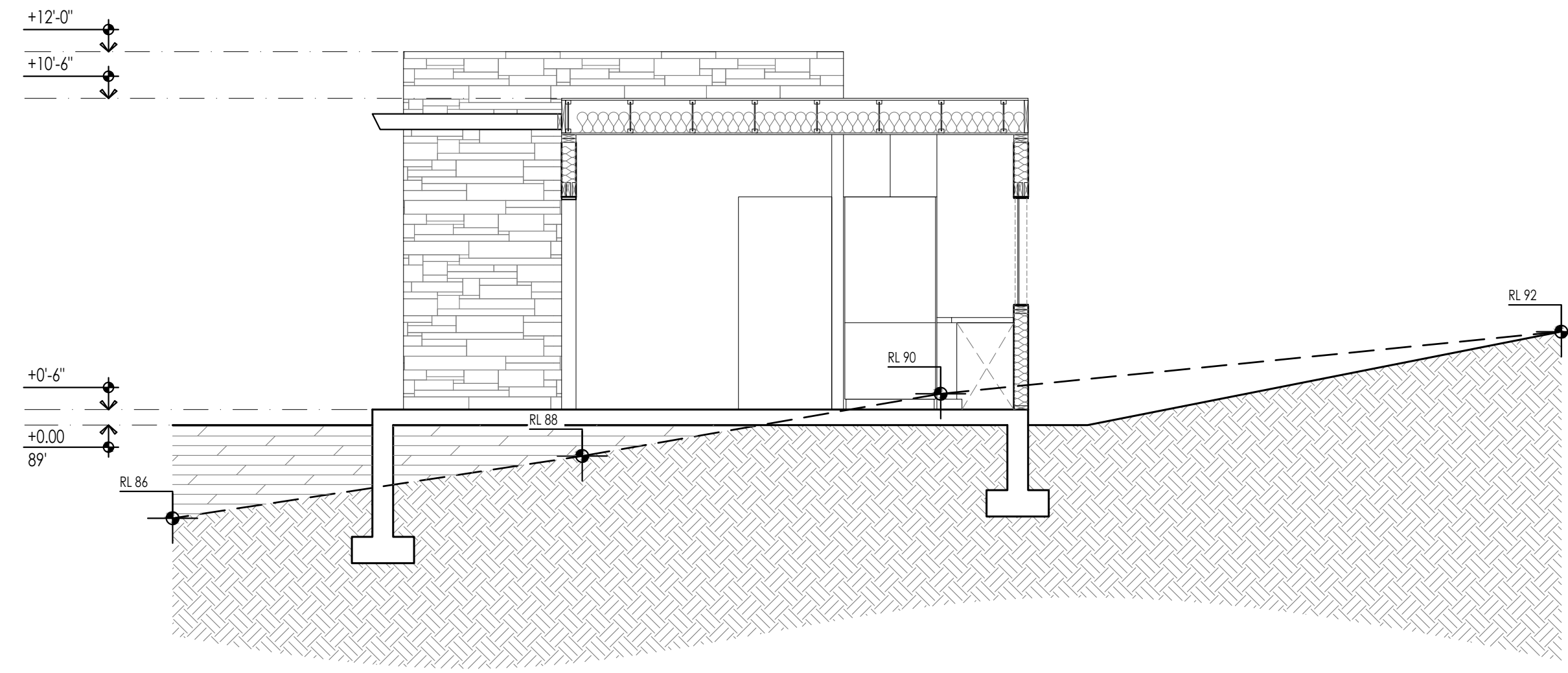
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SECTION NOTES & KEYNOTES

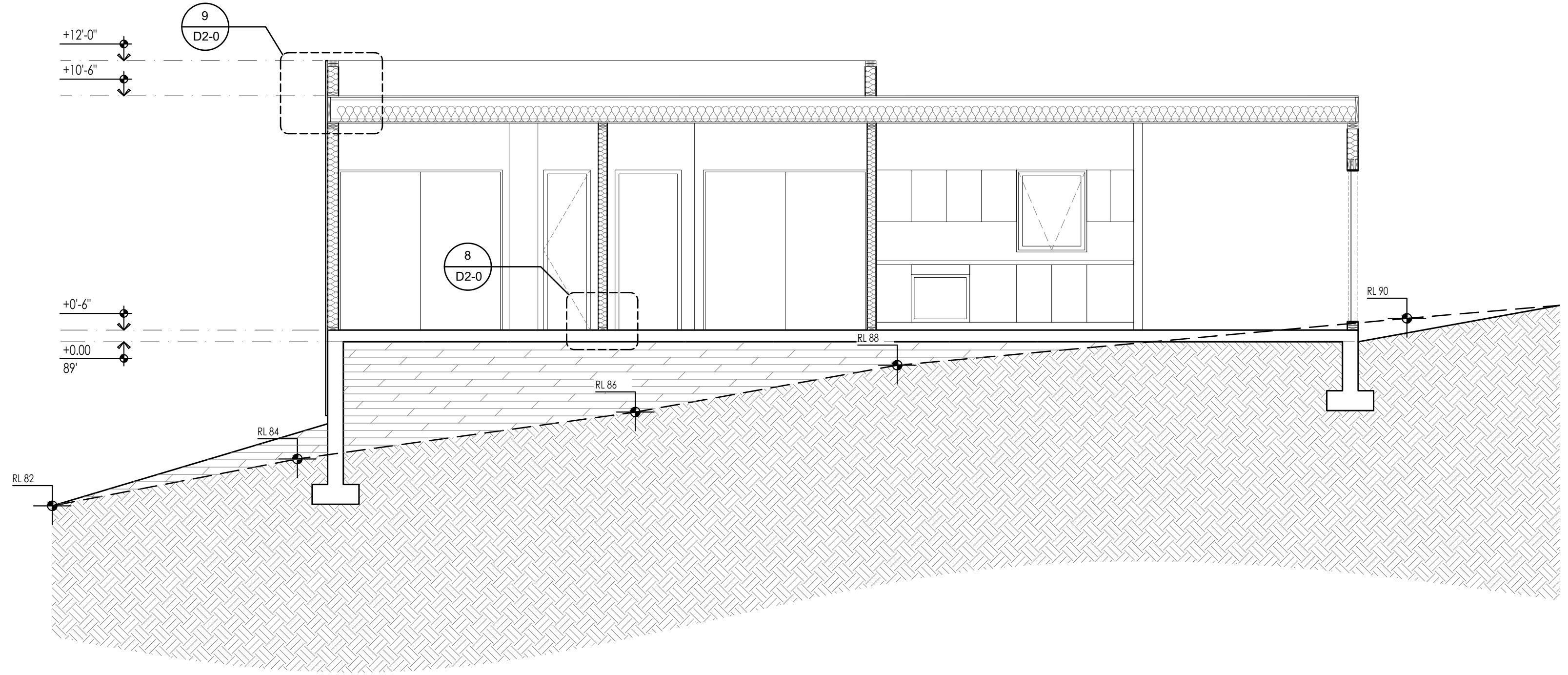
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08 00	OPENINGS
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WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED, WITH SIGNS OR STENCILING IN THE CONCEALED SPACE, SUCH IDENTIFICATION SHALL:

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 FIRE AND/OR SMOKE BARRIER PROTECT ALL OPENINGS, OR OTHER WORDING. (CBS 703.7)



1 SECTION 1
SCALE: 1/4" = 1'-0"



2 SECTION 2
SCALE: 1/4" = 1'-0"



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ADU Sections
A2-5
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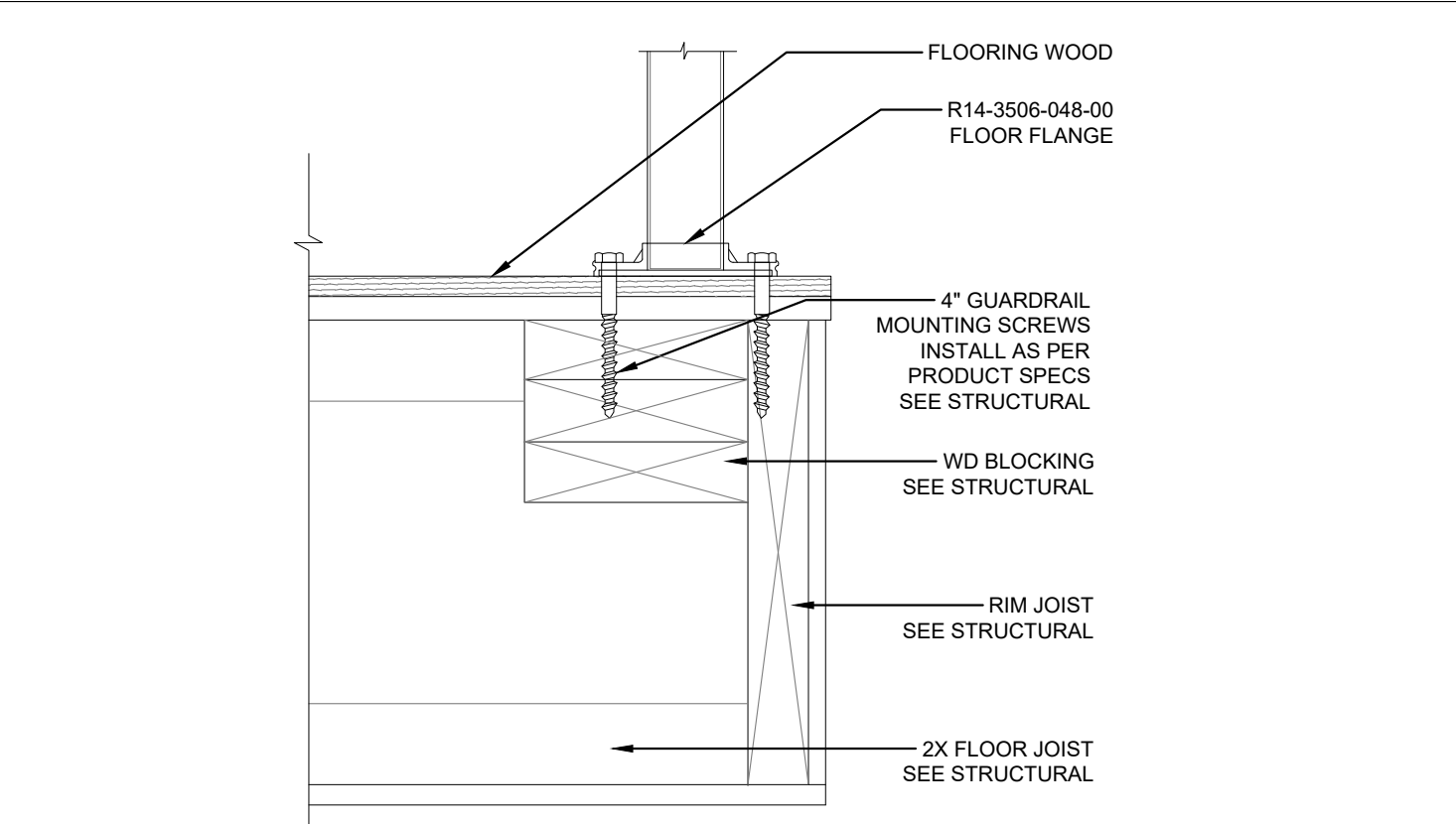
No.	Description	Date
	Progress Set	07/28/2023

Rendering

A2-6
Scale: As Noted
Sheet size: Arch D

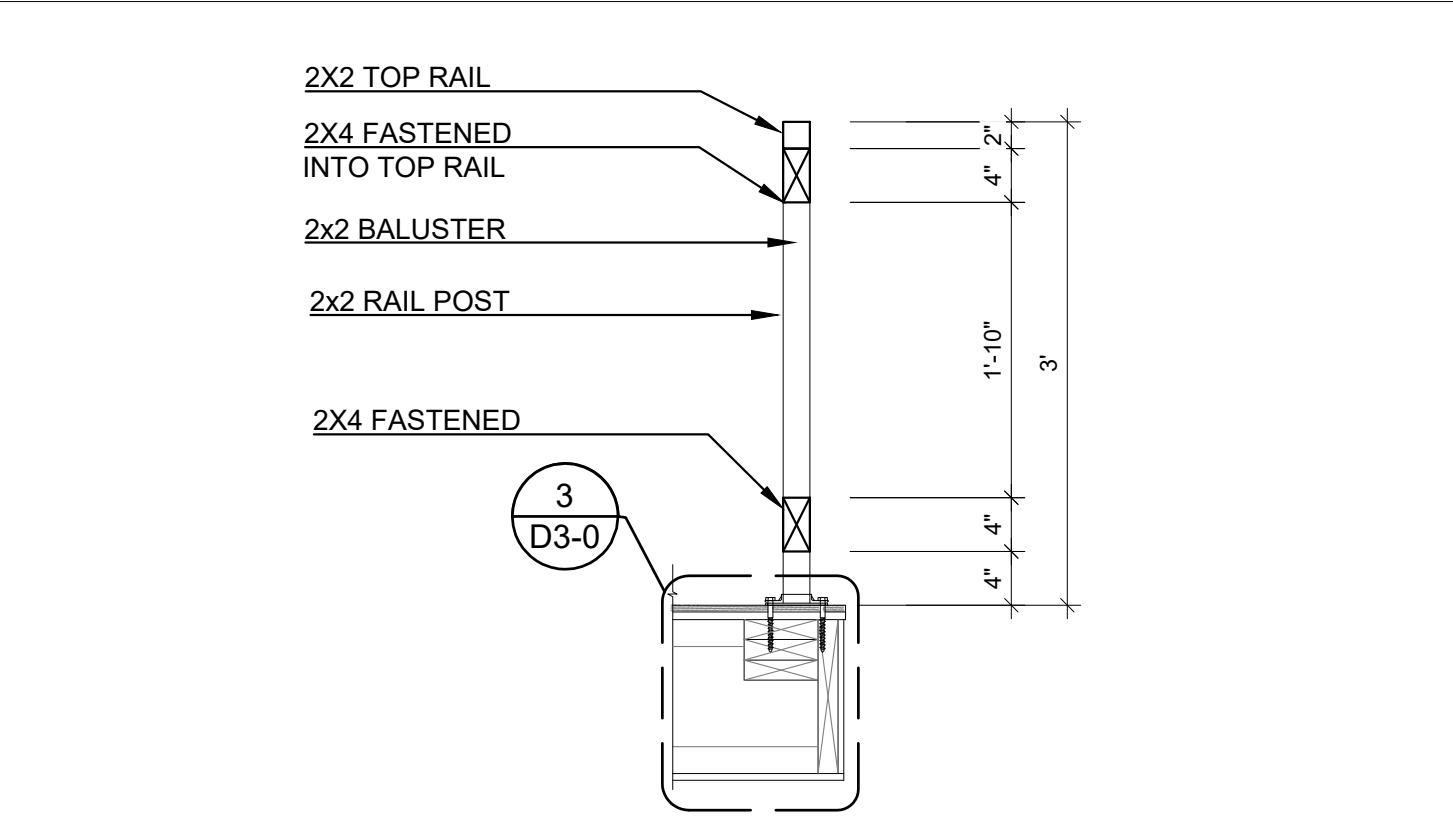
3 STAIR DETAIL

SCALE: NTS



2 STAIR DETAIL

SCALE: NTS



STAIR NOTES

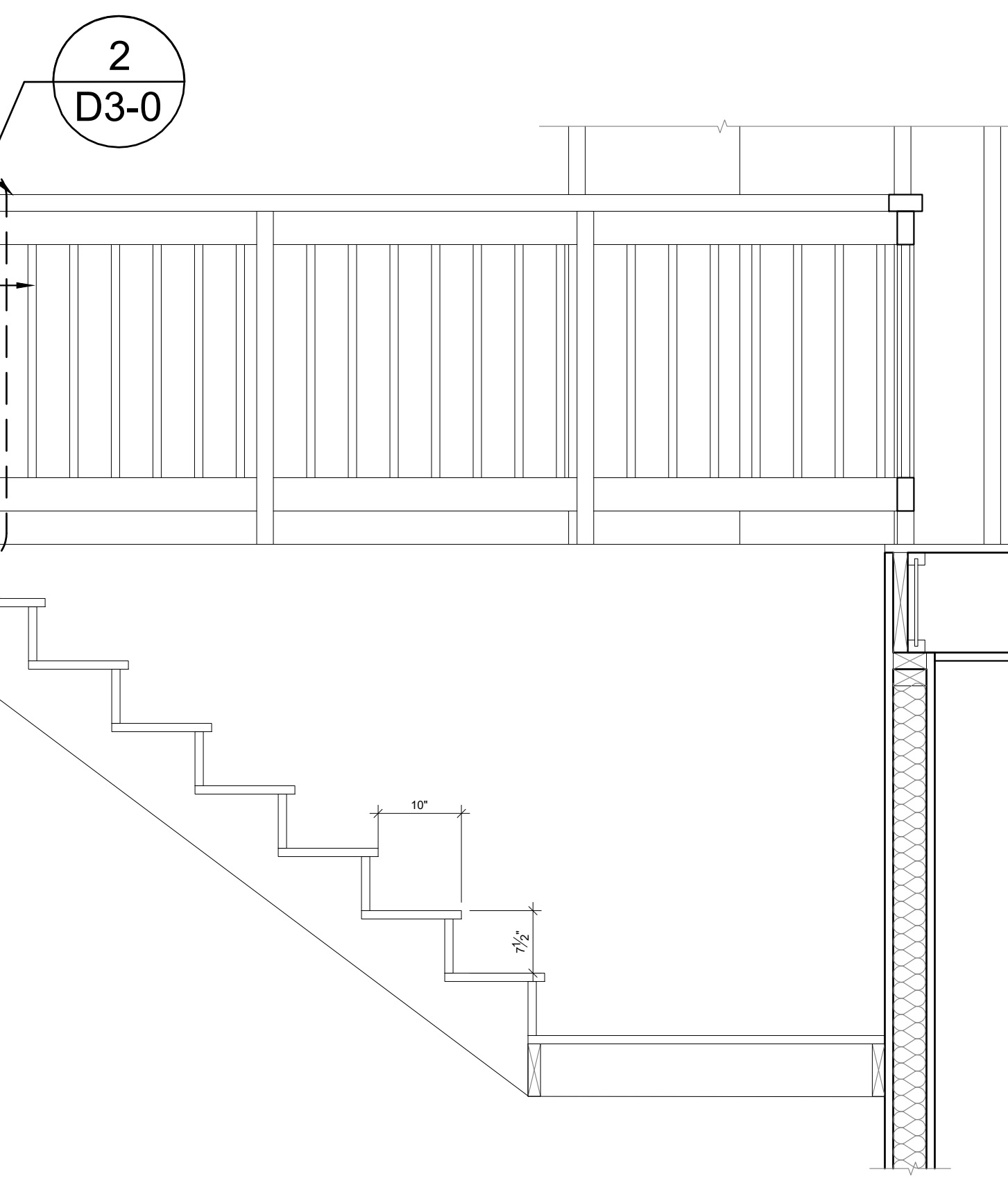
1. ALL INTERIOR AND EXTERIOR STAIR HANDRAILS TO COMPLY WITH CRC R311.7.9
2. PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER HOUSE WRAP AS PER CRC R703.2
3. GUARDS (SECTION R312):
 A) SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW.
 B) SHALL HAVE A HEIGHT OF 42" (MAY BE 34" ALONG THE SIDES OF STAIRS).
 C) OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".
 D) SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS. CALCULATIONS MAY BE REQUIRED. TABLE R301.5.
4. PROVIDE STAIRWAY AND LANDING DETAILS.
 SECTION R311.7:
 A) MAXIMUM RISE IS 7'-3/4" AND MINIMUM RUN IS 10", MEASURED FROM THE NOSING PROJECTION. WHERE THERE IS NO NOSING, THE MINIMUM RUN IS 11".
 B) MINIMUM HEADROOM IS 6'-8".
 C) MINIMUM WIDTH IS 36".
 D) THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
 OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.
5. SECTION R311.7.5.1:
 A) NOSING (BETWEEN 3/4" AND 1-1/2") SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. EXCEPTION: NO NOSING IS REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES. SECTION R311.7.5.3.
6. HANDRAILS (SECTION R311.7.8):
 A) SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. B) HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
 C) THE HAND GRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NORMORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. SEE SECTION R311.7.8.3 FOR ALTERNATIVES.
 D) HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
 E) ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
7. EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION, MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION R311.7.6. EXCEPTION: AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.

GUARD RAIL NOT LESS THAN 34" IN HEIGHT

BALUSTERS SPACED TO NOT ALLOW PASSAGE OF A SPHERE 4" OR MORE IN DIAMETER

2X2 RAIL POST

10" MIN. TREAD



1 STAIR DETAIL

SCALE: NTS



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Details

D3-0
 Scale: As Noted
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GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: PAUL MCGREGOR
2. SURVEY BY PAT McNULTY, SEP 2014.
3. ELEVATIONS BASED ON ASSUMED DATUM.
4. THIS IS NOT A BOUNDARY SURVEY.

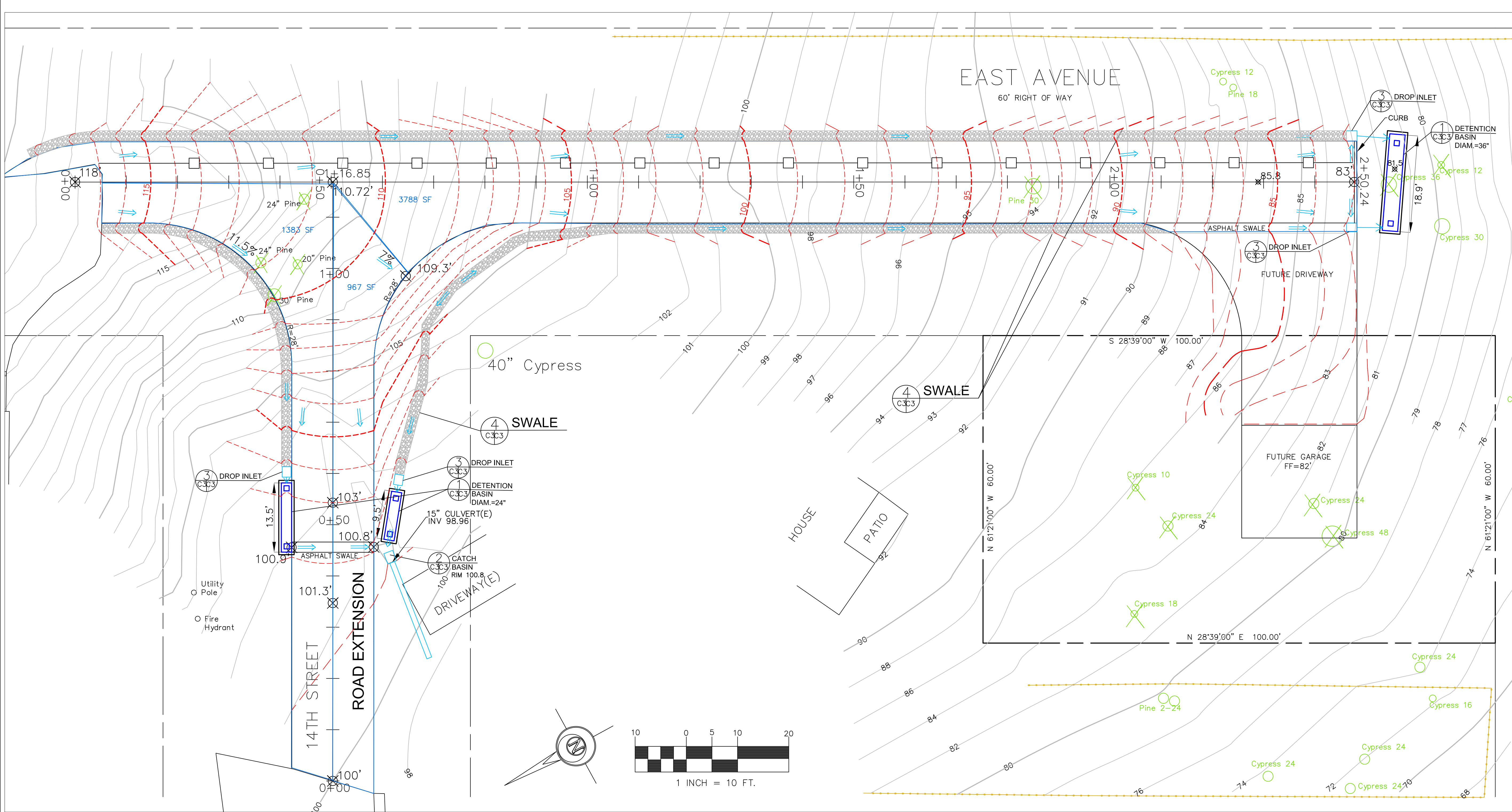
EARTHWORK NOTES

CUT VOLUME = 245 CY
 FILL VOLUME = 130 CY
 AREA OF PAVED SURFACE IN R.O.W. = 6110 SF
 VOLUME OF AGGREGATE ROAD BASE (AB) = 115 CY

DRAINAGE NOTES

DRAINAGE DIRECTIONS AS SHOWN BY DRAINAGE ARROWS ON PLAN: POSITIVE DRAINAGE, OR OUT-SLOPING OF THE ROAD, WITH CROWN ALONG CENTERLINE, SHALL BE MAINTAINED THROUGHOUT.

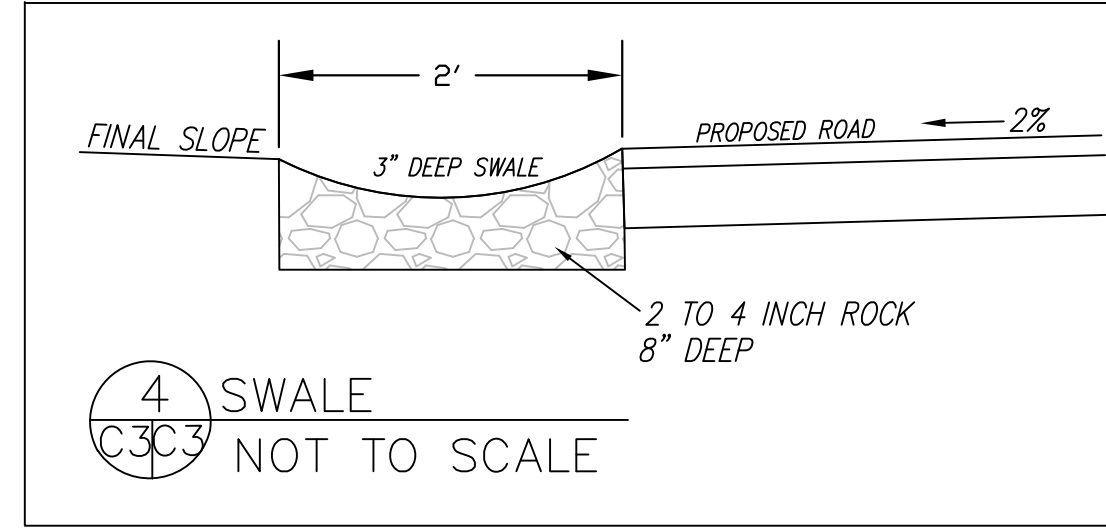
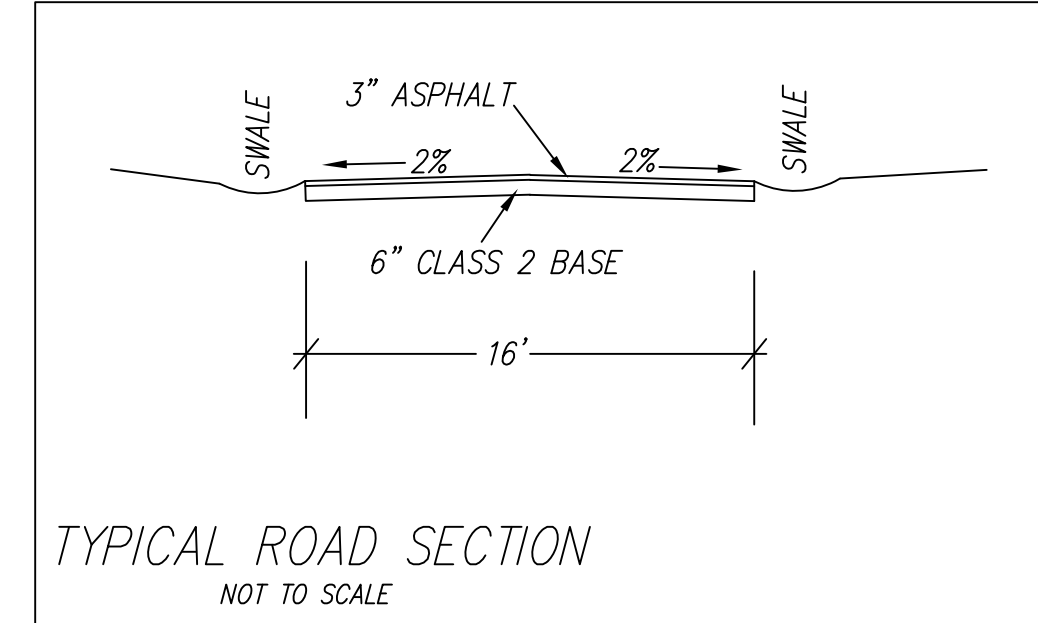
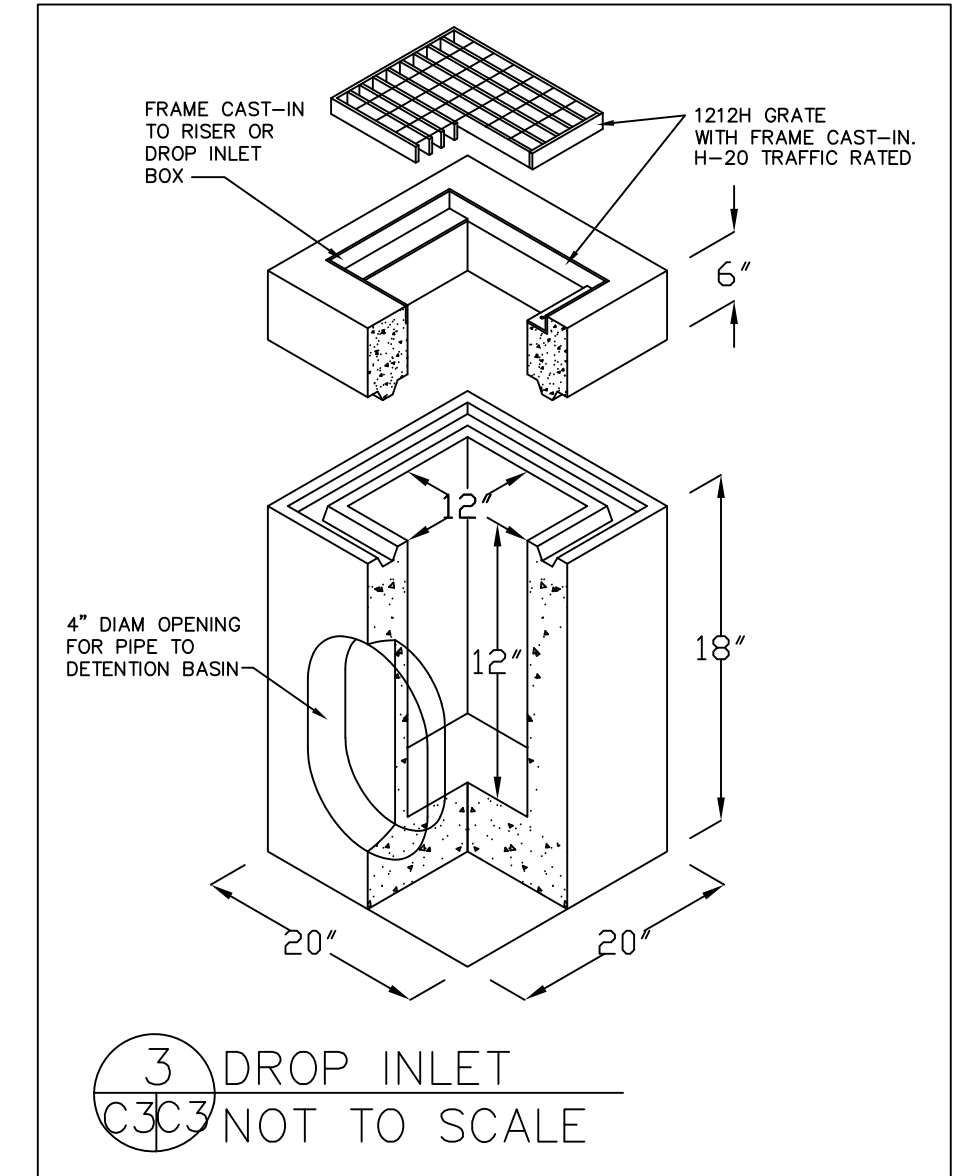
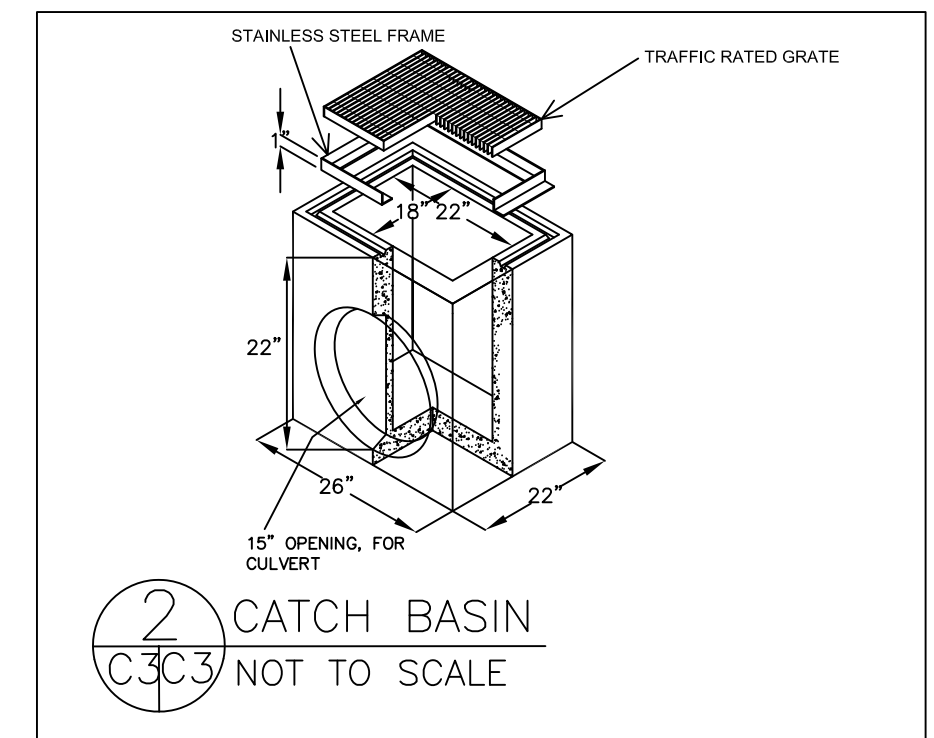
SHOULDERS OF ROAD SHALL INCLUDE SWALES, WHERE SHOWN.



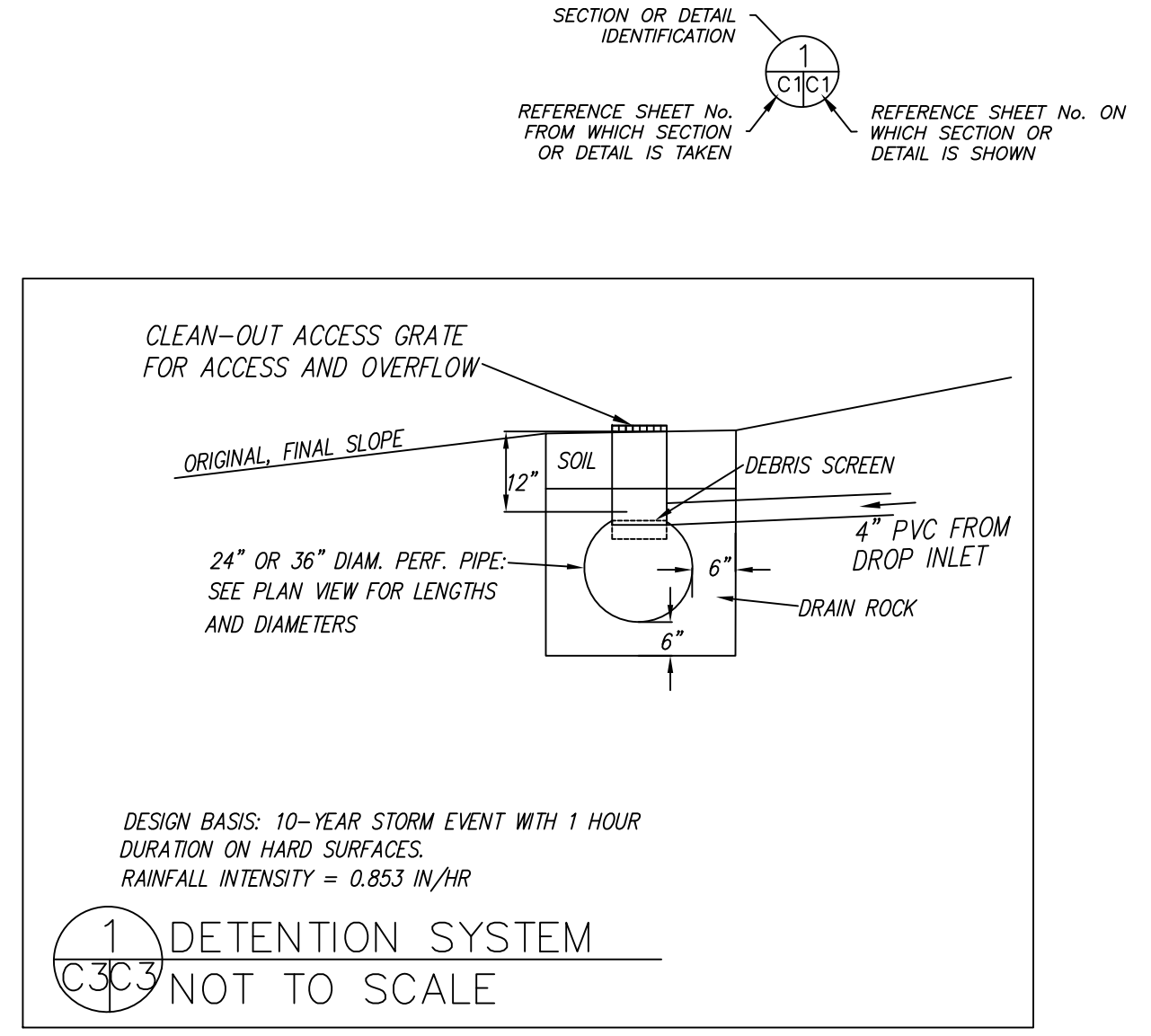
Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
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LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- DIRECTION OF SURFACE DRAINAGE FLOW
- TREE TO BE REMOVED
- E EXISTING
- N NEW, OR PROPOSED
- FF FINISH FLOOR



SECTION AND DETAIL CONVENTION



ROAD PLAN
 1900 EAST AVE.
 MONTARA
 1900 EAST AVE.
 MONTARA, CALIFORNIA
 APN: 037-015-019

SHEET
C-3

DATE: 1-6-22	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 4-26-22	REV. DATE: 7-18-22	REV. DATE: 11-20-23
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